

PRELIMINARY SITE INVESTIGATION

Goulburn Aquatic Centre A portion of Lot 1 DP 117890 Goulburn NSW 2580

October 2017



Client: Clarke Keller

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Goulburn Aquatic Centre

Lot 1 DP 117890 Goulburn NSW 2580

Client: Clarke Keller Copy No: One

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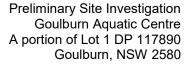
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Client: Clarke Keller

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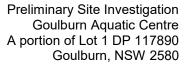
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EXECUTIVE SUMMARY

Client: Clarke Keller

Clarke Keller Pty Ltd (Clarke Keller) engaged Robson Environmental Pty Ltd (Robson) to undertake a Preliminary Site Investigation (PSI) of the Goulburn Aquatic Centre located at 85 Deccan Street, Goulburn NSW 2580, herein referred to as 'the site'.

Robson understands that the site is currently utilised as the Goulburn Aquatic Centre which includes a two (2) outdoor pools, one (1) indoor pool, an office, male and female change rooms/showers, a clubhouse, associated plant room, and open and shaded grassed and concreted areas. The site has an area of approximately 11,500 square metres (m²) and is zoned for recreational land use and is identified as a portion of Lot 1 Deposited Plan (DP) 117890.

This PSI has been undertaken to review past and present land uses for activities that may introduce contamination, and to assess the suitability of the site for the current land use. The scope of the assessment included a desktop review of NSW Government and Goulburn Mulwaree Council records, a review of the regional physiographic setting, and a site walkover to observe current site conditions and infrastructure.

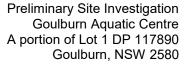
Based on the assessment two (2) onsite areas of environmental concern (AECs) were identified with the potential to impact the site (from a contamination point of view), no significant offsite AECs were identified. The AECs are listed below:

- AEC 1: Potential fill material of unknown origin beneath buildings and around pool areas;
- AEC 2: Chemical storage within the outdoor (primary) and indoor (secondary) pool plant rooms.

Based on the results of the PSI and the current condition of the site, the identified on-site AECs are considered to generally pose a low risk to the users of the site. However, further assessment is required of the AECs should the soil be disturbed during redevelopment works to assess the suitability of the site for the current land use. The recommendations for further assessment are listed below:

- Further assessment of AEC 1 should be undertaken to identify the potential contaminants associated with uncontrolled fill including total recoverable hydrocarbons (TRH), benzene, toluene, ethylbenzene, xylenes (BTEX), organochlorine pesticides (OCPs), polycyclic aromatic hydrocarbons (PAHs), polychlorinated biphenyls (PCBs), eight (8) heavy metals (including arsenic, cadmium, chromium, copper, lead, mercury, nickel and zinc) and asbestos, and to determine the lateral and vertical extent of contamination (if any);
- Further assessment of AEC 2 should be undertaken of the underlying soil should the buildings be demolished and/or the soil within the footprint of the buildings be disturbed to identify potential contaminants including acids/pH and to determine the lateral and vertical extent of contamination (if any);

Following the assessment of the AECs it is recommended that a construction environmental management plan (CEMP) with an unexpected finds protocol (UFP)





Client: Clarke Keller

for suspicious materials (including but not limited to asbestos) prior to the commencement of redevelopment be developed.

Implementation of the above recommendations should allow the site to be appropriately assessed for potential contaminants of concern, and therefore determine whether the site is considered suitable for the current land use from a contamination perspective.

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1 INTRODUCTION

1.1 Background

Clarke Keller Pty Ltd (Clarke Keller) engaged Robson Environmental Pty Ltd (Robson) to undertake a Preliminary Site Investigation (PSI) of the Goulburn Aquatic Centre located at 85 Deccan Street, Goulburn NSW 2580, herein referred to as 'the site'. Plans showing the location of the site are presented in **Figure 1** and **Figure 2**.

Robson understands the PSI is required as part of the redevelopment (Stage 1) of the site. The site is the currently utilised as the Goulburn Aquatic Centre which includes a two (2) outdoor pools, one (1) indoor pool, an office, male and female change rooms/showers, a clubhouse, associated plant room, and open and shaded grassed and concreted areas.

The site has an area of approximately 11,500 square metres (m²) and is identified as a portion of Lot 1 Deposited Plan (DP) 117890. According to the online planning viewer which is administered by the NSW Planning and Environment Department (https://www.planningportal.nsw.gov.au), the site is currently zoned for 'RE1 – Public Recreation' land use.

This PSI has been undertaken to review past and present land uses for activities that may have introduced contamination, and to assess the suitability of the site for the current land use.

This report has been prepared in general accordance with the NSW legislation and NSW Environment Protection Authority (EPA) endorsed guidelines including:

- Environment Planning and Assessment Planning Act 1979;
- NSW Contaminated Land Management Act 1997;
- NSW Contaminated Land Management Regulation 2008;
- National Environment Protection Council (NEPC, 1999) 'National Environment Protection (Assessment of Site Contamination) Measure 1999' amended May 2013 and herein referred to as the ASC NEPM (2013);
- New South Wales Office of Environment and Heritage (NSW OEH, 2011) 'Guidelines for Consultants Reporting on Contaminated Sites'.

1.2 Objectives

The objectives of the PSI were to:

- Identify past and present potentially contaminating activities that may have formerly been undertaken on the site;
- Discuss the current condition of the site:
- Identify potential areas of environmental concern (AEC) and the potential contaminants associated with the AECs (if present);
- Provide a preliminary assessment of site contamination;



 Assess and make recommendations (if required) regarding the need for further environmental assessment.

1.3 Scope of Work

Client: Clarke Keller

The scope of work undertaken for the PSI included the following:

- A review of building records provided by the client / Goulburn Mulwaree Council herein referred to as the Council;
- A review of historical titles dating back to the deed of grant to assess property reconfigurations and registered owners / lessees;
- A search of NSW Government and Council records for information on property zoning, hazardous materials licences, environmental controls on the property and other relevant information:
- A search of the NSW EPA Register of Contaminated Sites and if listed, a description of the contamination issues leading to the listing of the site;
- A review of publicly available aerial photographs for evidence of potentially contaminating activities;
- A groundwater bore search of the NSW Office of Water online groundwater database;
- A review of regional and local topographical, geological and hydrogeological maps to assess conditions beneath the site and in the surrounding area;
- A site walkover to observe site infrastructure and site conditions including identification of potential contaminant sources or potentially contaminated areas;
- Preparation of a PSI report detailing the findings and recommendations of the assessment in accordance with the NSW OEH (2011) 'Guidelines for Consultants Reporting on Contaminated Sites'.



2 SITE INFORMATION

2.1 Site Identification

General site details are summarised in **Table A** below.

Table A. Site Identification

| Site Location | 85 Deccan Street, Goulburn NSW 2580 |
|---------------------|---|
| Name of Site Lessee | Goulburn Mulwaree Council |
| Client | Clarke Keller Pty Ltd |
| Block and Section | A portion of Lot 1 DP 117890 |
| Area | The site has an area of approximately 11,500 square metres (m ²). |
| Site Zoning | According to the online planning viewer which is administered by the NSW Planning and Environment Department (https://www.planningportal.nsw.gov.au), the site is currently zoned for 'RE1 – Public Recreation' land use. |
| Site Assessor | Robson Environmental Pty Ltd Unit 1, 140 Gladstone Street Fyshwick ACT 2609 |

2.2 Site Description

The site is currently utilised as the Goulburn Aquatic Centre which includes two (2) outdoor pools, one (1) indoor pool, an office, male and female change rooms/showers, a clubhouse, associated plant room, and open and shaded grassed and concreted areas. The main site features are shown on **Figure 3**.

Access to the site is via Deccan Street which is located along the west site boundary. Further observations regarding the site are presented in **Section 4**.

2.3 Surrounding Land Uses

The land immediately surrounding the site on the northeast, east and south is zoned as 'RE1 - Public Recreation' and to the northwest and west it is zoned as 'R1 - General Residential. Land uses outside the site boundary are outlined below in **Table B**.

Table B. Surrounding Land Uses

Client: Clarke Keller

| Direction from Site | Description |
|---------------------|---|
| North | General Residential : Immediately to the north of the site is Deccan Street of which is residential housing zoned as 'R1 - General Residential'. |



| Direction from Site | Description |
|---------------------|---|
| Northeast/East | Public Recreation and Infrastructure: Immediately to the east of the site is Victoria Park the far side of which to the northeast is Goulburn High School zoned as 'SP2 – Infrastructure: School' and Goulburn Hospital zoned as 'SP2 – Infrastructure: Hospital'. |
| South | Public Recreation and Residential: Immediately to the south of the site is Victoria Park the far side of which is residential housing zoned as 'R1 - General Residential'. |
| West | Residential and Infrastructure: Immediately to the west of the site is residential housing zoned as 'R1 – General Residential' the far side of which is Goulburn Tafe College zoned as 'SP2 – Infrastructure: Educational Establishment'. |

Potential sensitive receptors within a 500 metre (m) radius of the site include:

- Workers and visitors to the site;
- Victoria Park to the north, east and south of the site;
- Residential properties north, east, south and west of the site.

The nearest surface water bodies are the Wollondilly River approximately 1.3 km to the north and Mulwaree River approximately 1.5 km to the southeast.

2.4 Land Title Search

A current and historical land title and crown plan search was undertaken through the NSW Land and Property Information (LPI) and via InfoTrack Pty Ltd an approved NSW LPI information broker. The searches are summarised below and copies of the search results are provided in **Appendix A**.

Lot 1 DP117890

The Title search indicated that Volume 459 Folio 189 is the current certificate title. The Title noted that the land is dedicated as the site for public recreation and that there are reservations and conditions in the Crown grant. It is also noted that the land is a reserve and there are restrictions on transfer and other dealings in the land under the Crown Lands Act 1999, which may require consent from the minister.

The Historical title search noted the prior title was Volume 459 Folio 189 and that the title was converted to computer folio in 1991. It was also noted that two (2) departmental dealings occurred in 2010 and 2012. A crown lease plan was not referenced on the Title search and no results were returned for the certificate of title search.

2.5 Historical Aerial Photograph Review

As part of the desktop study, historical aerial photographs obtained by Lotsearch from Department Finance, Services and Innovation were reviewed for the years 1944, 1953, 1967, 1978, 1987, 1991, 1997, 2002, 2006 and 2014.



The review of the aerial photographs is summarised in **Table C** below and copies of the aerial photographs are presented in the Lotsearch (2017) report provided in **Appendix B**.

Table C. Historical Aerial Photograph Review

| Aerial Photograph Details | Description |
|------------------------------|--|
| 1944 | Site: The site is a landscaped grassed area with trees and paths leading to a single pool. |
| | Surrounding: The area is predominantly a landscaped grassed area with bushes and trees and paths. Residential properties have been developed to the northwest and southwest of the site. |
| 1953 | Site: No significant changes are observed from the previous photograph. |
| 1000 | Surrounding: No significant changes are observed from the previous photograph. |
| 1967 | Site: The site has been developed further with another two (2) pools installed. The front office/change room building and plant room (associated with the large Olympic pool) have been constructed. The car park along the western border of the site has also been constructed. |
| | Surrounding: Residential properties have been developed to the north and west of the site. No other significant changes are observed from the previous photograph. |
| 1978 | Site: The Clubhouse has been built adjacent the plant room (associated with the large Olympic pool). No other significant changes are observed from the previous photograph. |
| | Surrounding: Further residential properties have been developed to the northwest of the site. No other significant changes are observed from the previous photograph. |
| 1987 | Site: A waterslide has been constructed on the eastern side of the Olympic pool. No other significant changes are observed from the previous photograph. |
| | Surrounding: No significant changes are observed from the previous photograph. |
| | Site: No significant changes are observed from the previous photograph. |
| 1991 | Surrounding: A rose garden is now present to the northeast of the site with paths leading from the perimeter of the block to the rose garden. No other significant changes are observed from the previous photograph. |
| 1997 | Site: No significant changes are observed from the previous photograph. |
| 1997 | Surrounding: No significant changes are observed from the previous photograph. |
| 2002 | Site: The pool in the southern portion of the site has been converted into an indoor pool. The waterslide on the eastern side of the Olympic pool has been removed. |
| | Surrounding: No significant changes are observed from the previous photograph. |
| 2006 | Site: An outdoor beach volleyball court has been constructed in the northeastern corner of the site. No other significant changes are observed from the previous photograph. |
| | Surrounding: A skate park has been constructed adjacent the southern border of the site. No other significant changes are observed from the previous photograph. |



| Aerial Photograph Details | Description | |
|------------------------------|---|--|
| 2014 | Site: Shade cloths have been put up along the eastern side of the Olympic pool. No other significant changes are observed from the previous photograph. Surrounding: No other significant changes are observed from the previous photograph. | |

In summary, the aerial photographs indicate that the site was developed circa 1967. Minor cosmetic changes have occurred throughout since this time including the construction (circa 1987) and removal of a waterslide (circa 2002). It is also noted that an indoor pool was constructed circa 2002 in the location of a former outdoor pool. It is unknown if the building was constructed around or on top of the outdoor pool. No other significant changes to the site were observed in the aerial photographs from 1967 to 2014.

2.6 Building Plan Review

A review of historical building plans held by the client / and or Council was undertaken to provide a second line of evidence for the development of the site in conjunction with the aerial photograph review, and to assess whether there were records on file for possible sub-surface infrastructure (e.g. underground petroleum storage systems (UPSS)). Copies of the building plans are presented in **Appendix C**.

In summary, the information provided covers periods in time from 1995 through to 1996. The information provided included a number of documents relating to the site specifications and building plans for the indoor heated pool located in the southern portion of the site that was constructed circa 1997.

The site specifications and plans (1995/96) related to the indoor heated pool noted the following infrastructure that may be associated with potential contamination:

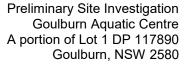
- A plant room located in the northwestern corner of the building;
- A chlorine tank and bund adjacent the plant room to the south.

In summary, the review of the building plans identified that there were no grease traps, oily waste separators or UPSS observed on the building plans.

2.7 Groundwater Bore Search

Client: Clarke Keller

A Groundwater Bore search was undertaken by Lotsearch with data sourced from Department of Finance, Services & Innovation (map of well locations) and NSW Department of Primary Industries – Office of Water / Water Administration Ministerial Corporation (groundwater borehole table data). The purpose of the search was to document the depth and quality of the local groundwater system underlying the site so that the potential impact of site-derived contaminants (if any) on the groundwater may be assessed. The search included a review of groundwater bores within a one (1) km radius of the site. The search results including a map of the well locations and a summary table and the groundwater information sheets are presented in the Lotsearch (2017) report provided in **Appendix B**.





The search identified approximately 120 groundwater wells located within a one (1) km radius of the site, majority of which were located to the northwest/west of the site.

The purpose of the groundwater wells is generally listed as domestic however other uses include industrial, stock, irrigation, recreation, monitoring and groundwater exploration and general use. Several wells located to the east of the site were listed as monitoring groundwater wells.

Where recorded, the standing water level was between 4 and 60 metres (m), majority of which the standing water level ranged from 3.5 and 20 m. Similarly the yield varied between 0.025 litres per second (L/s) and 10 L/s.

2.8 Contaminated Land Search

An online search of records held by the NSW EPA was conducted through the http://epa.nsw.gov.au/prclmapp website. The results of the contaminated land register search are provided in **Appendix D**. In summary, there are two (2) registered contaminated land sites in the Goulburn Mulwaree Council. The former Goulburn Gasworks located approximately 3 km southwest of the site and the Mobil Service Station located approximately 2.5 km northeast of the site.

Section 149 (2) certificates were also requested for the site through the Goulburn Mulwaree Council. The certificates (which are provided in **Appendix D**) note that no records are held for the site in relation to Section 59 (2) of the Contaminated Land Management Act 1997 which includes management orders, voluntary management proposals and ongoing maintenance orders.

The certificates note that the site was not recorded as significantly contaminated nor was the site the subject of a site audit statement that has been provided to the Council at the date of the certificates.

2.9 Storage of Hazardous Chemicals Search

A search was undertaken through Safe Work NSW, for information on the storage of hazardous chemicals on the site. Results of the search are provided in **Appendix E**.

In summary, the search indicated there were records relating to the site held by SafeWork NSW. Specifically a licence to keep dangerous goods, application for a renewal, new licence, amendment or transfer were provided for 1979 (initial licence application) and applications in 1993 and 1998. The search provided the following information:

- A licence dated 1979 for a 920 kilogram (kg) chlorine drum store;
- A building plan of the existing plant room (unknown date) noted a chlorine tank (dimensions of the tank is unknown);
- An application for a new licence, amendment or transfer dated 1993 for a 2 tonne (t) liquid chlorine cylinder storage and 100 litre (L) hydrochloric acid package container (20 L per unit);
- A renewal application dated 1998 for the storage of chlorine (2000 kg) and hydrochloric acid (200 L);



 Email correspondence in April 2010 between a Goulburn Aquatic Centre representative and a Senior Inspector from the Dangerous Goods Chemicals Team (Workcover NSW) noting that the aquatic centre no longer utilises chlorine gas in the treatment of its water and now uses chlorine pellets, at most storing 1,440 t of chlorine pellets onsite. Subsequently the Senior Inspector noted the site was 'expired' and requesting a status change to 'Closed'.

2.10 Dial Before You Dig Search

An online (https://www.1100.com.au) Dial Before you Dig Search (DBYD) was undertaken to identify potential underground services that may be present on the site. This information is useful for the identification of preferential pathways for contamination if present on site and the location asbestos conduits that may be associated with the services. The DBYD search listed Essential Energy, Jemena Gas Country, NBN Co and Telstra as asset owners within the search area.

A copy of the search results is provided in **Appendix F**. In summary, the search results indicated the following:

- Electricity is connected to the site from the southwest of the site via a low voltage underground cable. Underground earth or wires, and poles are also noted on the north and east of the site;
- A gas network main is located along the northern boundary of the site;
- The Telstra plan indicated there were 'other carrier' cables located in the southern portion of the site which corresponds with the NBN co plan.

It is noted that DBYD searches provide limited details regarding the location of underground services within a property boundary.

2.11 Past Environmental Assessments

No previous environmental assessments were made available to Robson during the PSI works.

2.12 Anecdotal Information

Client: Clarke Keller

The following information was provided by Ms Gabrielle (Pool Keeper), during the site visit to assist with the investigation:

- The site is 51 years old and has been a public pool since March 1966;
- A number of various small scale site modifications have occurred since 1995;
- Chemicals for pool cleaning/chlorination are used onsite and a chemical register is available. Additionally, chemical bunds are present on site.

No further anecdotal information was provided.



3 TOPOGRAPY, GEOLOGY AND HYDROGEOLOGY

3.1 Topography

Reference to the topographic map presented in the Lotsearch (2017) results generated with data sourced from the Department Finance, Services and Innovation indicates that the site has an elevation of approximately 670 m to 672 m above Australian Height Datum (AHD). The site is rectangular with an overall slope to the east. The nearest surface water bodies is the Wollondilly River which is located approximately 1.3 km to the northwest of the site and Mulwaree River located approximately 1.5 km to the southeast of the site (Refer **Appendix B**).

3.2 Geology

Reference to the geology map presented in the Lotsearch results generated with data sourced from Department Finance, Services and Innovation indicates that the geological unit on the site is Gundary beds, which is of Palaeozic age and consists of siltstone, sandstone, dacite, andesite, conglomerate, tuff, felsites, porphyry, and claystone (Refer **Appendix B**).

3.3 Hydrogeology

Client: Clarke Keller

Based on information collected from the Groundwater bore search undertaken by Lotsearch, the depth to groundwater below the site is estimated to be between 14 and 15 mbgl. It is noted that the aquifers onsite are likely to be fractured or fissured, extensive aquifers of low to moderate productivity.

The direction of groundwater flow is uncertain but it is expected to follow the natural topographic gradient and flow in an overall easterly direction towards Wollondilly River (Refer **Appendix B**).



Client: Clarke Keller

4 FIELD OBSERVATIONS

A suitably qualified and experienced Robson environmental scientist undertook a site walkover on 11 September 2017. Photographs of the site are included in **Appendix G**. At the time of the site walkover the following features were observed on the site. The locations of the main features are shown on **Figure 3**.

- The main site was accessed off Deccan Street by an asphalted road into the car park;
- The site comprised of a three (3) buildings including a main office, gym and change rooms, an indoor pool (including plant room) and the outdoor pool plant room/clubhouse. An uncovered 50 m Olympic pool, a covered baby pool, a sand 'beach' volley ball court and grassed areas with park benches/shaded areas were also observed on the site;
- The outdoor pool plant room in the north portion of the site contained large volumes of chemicals used to clean/chlorinate the pool. The outdoor pool plant room was construction with brick and concrete and was observed to be old but in fair condition. Some minor spillage was observed on the concrete floor. Minor volumes of chemicals was observed in the indoor pool plant room located in the south portion of the site;
- Areas of potential cut and fill were observed around the buildings and pool areas and underneath buildings to level the area as the site was generally sloping to the east;
- Several waste bins (general rubbish/recycling) were observed across the site however no designated waste storage or disposal areas were noted;
- The main site buildings were of brick construction and were generally observed to be in good condition;
- General site maintenance was considered to be good;
- The car park and pathways around the site were constructed using concrete, pavement and asphalt;
- Two (2) water heaters were observed on the site, one (1) in the northern portion of the site adjacent the clubhouse and one (1) in the indoor pool plant room in the southern portion of the site;
- No grease traps, UPSS, workshops or incinerators were observed on the site;
- No potential asbestos containing materials (ACM) were observed on the soil surface during the site walkover (Observations of potential ACM in buildings and structures onsite will be covered in the Hazardous Materials report that will be forwarded separately from this PSI);
- Services such as gas, water and sewer were observed on the site.



Client: Clarke Keller

5 AREAS OF ENVIRONMENTAL CONCERN

Based on the review of aerial photographs, publicly available information and site observations, two (2) onsite areas of environmental concern (AECs) were identified with the potential to impact the site (from a contamination point of view), no significant offsite AECs were identified. The locations of the identified AECs are shown on **Figure 4** and are listed below:

- AEC 1: Potential fill material of unknown origin underneath buildings and around pool areas;
- AEC 2: Chemical storage within the outdoor (primary) and indoor (secondary) pool plant rooms.

Areas for waste storage are considered likely to be present on the site. Given the relatively small volumes of waste, and that they are located within buildings (or waste skip bins); these areas have not been considered further as AECs.

AEC 1: Potential fill material of unknown origin underneath buildings and around pool areas

Potential areas of cut and fill were observed across the site as the landscape does not follow the expected contours of the site. Fill material may have been used to level the buildings (indoor pool and outdoor pool plant room/clubhouse) and areas adjacent the outdoor pools.

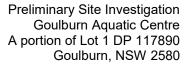
The potential fill material used across the site may have originated from the site as ex-situ material, or it may have been imported from offsite.

The contaminants of potential concern (COPC) associated with imported fill material from an unknown source include total recoverable hydrocarbons (TRH), benzene, toluene, ethylbenzene, xylenes (BTEX), organochlorine pesticides (OCPs), polycyclic aromatic hydrocarbons (PAHs), polychlorinated biphenyls (PCBs), eight (8) heavy metals (including arsenic, cadmium, chromium, copper, lead, mercury, nickel and zinc) and asbestos.

Due to the potential for imported fill material on the site Robson recommend a soil assessment be undertaken of the fill material and a Construction Environmental Management Plan (CEMP) with an unexpected finds protocol (UFP) to be prepared for the site prior to redevelopment works.

AEC 2: Chemical storage within the outdoor (primary) and indoor (secondary) pool plant rooms

Large amounts of chemicals used for pool cleaning and chlorination were observed in the outdoor pool plant room. Two (2) brick bunding areas, one (1) approximately 2 m x 2 m and one (1) approximately 3 m x 3 m were observed in the outdoor pool plant room and were in good condition. Minor amounts of chemicals have been stored in the indoor pool plant room. The plant rooms were constructed with brick and concrete, and were observed to be old but in fair condition. Minor spillage was observed on the concrete.





Although considered unlikely the potential exists for spills to have occurred which may have contaminated the soil/groundwater below the chemical storage areas.

Potential contaminants associated with the storage of pool chemicals include acids.

However Robson considers that provided that continued appropriate handling of the chemicals in accordance with the applicable safety data sheets (SDS) the potential risk of spills/leaks from the chemicals storages areas to human health and the environment is negligible and the AEC is unlikely to affect the suitability of the site for the current land use.

Therefore further assessment of this AEC is not required at this time however, should the buildings containing the storage areas be demolished and/or significantly redeveloped, Robson recommends that an assessment of the soil directly beneath the footprint of the buildings for COPC including acids/pH (in addition to the COPC associated with fill material) be undertaken.

5.1 Potential Off-Site Sources of Contamination

No significant potential off-site sources of contamination were identified during this assessment.

5.2 Preliminary Site Conceptual Model

Client: Clarke Keller

Sensitive human receptors on the site include workers and visitors to the site. Sensitive ecological receptors include vegetation and fauna on the site and in the adjacent Victoria Park.

Two (2) onsite AECs were identified with the potential to impact the site (from a contamination point of view), no offsite AECs were identified.

As the majority of the site is not covered by hardstand other than the building footprints, concreted areas and pathways the potential exposure pathways including direct contact and inhalation are considered to be complete between most of the identified AECs and the sensitive receptors.

However the AECs are considered to be a low risk to general workers/visitors to the site and ecological receptors. Higher risk activities on the site would include any soil disturbance, such as site redevelopment, within the AECs.



6 CONCLUSIONS AND RECOMMENDATIONS

6.1 Conclusions

Based on the results of this PSI, Robson makes the following conclusions:

- The site is identified as the Goulburn Aquatic Centre and is used for recreational purposes;
- The site was accessed off Deccan Street by an asphalted road along the west site boundary;
- The site comprised of two (2) outdoor pools, one (1) indoor pool, an office, male and female change rooms/showers, a clubhouse, associated plant rooms, and open and shaded grassed and concreted areas;
- Areas of potential fill material were observed around the pool areas and beneath the buildings;
- A large amount of chemicals used for the chlorination/cleaning of the pools was observed in the outdoor pool plant room located in the northern portion of the site. Minor spillage was observed on the concrete floor. A small amount of chemicals was observed in the indoor pool plant room located in the southern portion of the site;
- A current and historical land title search noted that Lot 1 DP 117890 is dedicated as the site for public recreation and that the land is a reserve;
- The aerial photographs indicate that the site was developed circa 1967. Minor cosmetic changes have occurred throughout since this time including the construction (circa 1987) and removal of a waterslide (circa 2002). It is also noted that an indoor pool was constructed circa 2002 in the location of a former outdoor pool. No significant changes were observed since this time;
- The groundwater search identified approximately 120 groundwater wells located within a 1 km radius of the site, the majority of which were located to the north/northwest of the site. The purpose of the groundwater wells is generally listed as domestic however other uses include industrial, stock, irrigation, recreation, monitoring and groundwater exploration and general use. Several wells located to the east of the site were listed as monitoring wells. Where recorded, the standing water level was between 4 and 60 m, however groundwater is expected to be between 14 and 15 mbgl;
- A contaminated land register search indicated there are no records held for the site in relation to Section 59 (2) of the Contaminated Land Management Act 1997:
- The certificates note that the site was not recorded as significantly contaminated nor was the site the subject of a site audit statement that has been provided to the Council at the date of the certificates;
- A search was undertaken through SafeWork NSW, for information on the storage of hazardous chemicals on the site. The search provided the following information:
 - A licence dated 1979 for a 920 kilogram (kg) chlorine drum store;



- A building plan of the existing plant room (unknown date) noted a chlorine tank (dimensions of the tank is unknown);
- An application for a new licence, amendment or transfer dated 1993 for a 2 tonne (t) liquid chlorine cylinder storage and 100 litre (L) hydrochloric acid package container (20 L per unit);
- A renewal application dated 1998 for the storage of chlorine (2000 kg) and hydrochloric acid (200 L);
- Email correspondence in April 2010 between a Goulburn Aquatic Centre representative and a Senior Inspector from the Dangerous Goods Chemicals Team (Workcover NSW) noting that the aquatic centre no longer utilises chlorine gas in the treatment of its water and now uses chlorine pellets, at most storing 1,440 t of chlorine pellets onsite. Subsequently the Senior Inspector noted the site was 'expired' and requesting a status change to 'Closed'.
- Building plans from 1995/96 indicated the presence of a plant room and chlorine tank and bund associated with the indoor heated pool. No grease traps, oily waste separators or UPSS were observed on the building plans.

Based on the evaluation of aerial photographs, publicly available information and site observations, two (2) onsite AECs were identified with the potential to impact the site (from a contamination point of view); no significant offsite AECs were identified. The AECs are listed below:

- AEC 1: Potential fill material of unknown origin underneath buildings and around pool areas;
- AEC 2: Chemical storage within the outdoor (primary) and indoor (secondary) pool plant rooms.

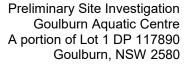
Based on the results of the PSI and the current condition of the site, the identified on-site AECs are considered to generally pose a low risk to the users of the site. However, further assessment is required of the AECs should the soil be disturbed during redevelopment works to assess the suitability of the site for the current land use.

Recommendations regarding further assessment works have been provided below in **Section 6.2**.

6.2 Recommendations

Robson recommends the following further assessment works be undertaken:

- Further assessment of AEC 1 should be undertaken to identify the potential contaminants including TRH, BTEX, OCP, PAH, PCB, heavy metals and asbestos, and to determine the lateral and vertical extent of contamination (if any);
- Further assessment of AEC 2 should be undertaken of the underlying soil should the buildings be demolished and/or the soil within the footprint of the buildings be disturbed to characterise potential contaminants including acids/pH and to determine the lateral and vertical extent of contamination (if any).

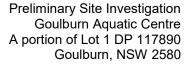




Client: Clarke Keller

Following assessment of the AECs, it is recommended that a construction environmental management plan (CEMP) with an unexpected finds protocol (UFP) for suspicious materials (including but not limited to asbestos) prior to the commencement of redevelopment be developed.

Implementation of the above recommendations should allow the site to be appropriately assessed for potential contaminants of concern, and therefore determine whether the site is considered suitable for the current land use from a contamination perspective.





7 REFERENCES

Client: Clarke Keller

Lotsearch (2017) 'Environmental Risk and Planning Report – 85 Deccan Street, Goulburn, NSW, 2580', dated 7 September 2017.

NSW Environment Planning and Assessment Planning Act 1979.

NSW Contaminated Land Management Act 1997.

NSW Contaminated Land Management Regulation 2008.

Dial Before you Dig Search (DBYD) https://www.1100.com.au.

National Environment Protection Council (NEPC, 1999) 'National Environment Protection (Assessment of Site Contamination) Measure 1999' amended May 2013 herein referred to as ASC NEPM (2013).

NSW Government Spatial Services online website https://maps.six.nsw.gov.au/.

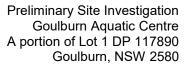
NSW OEH (2011) 'Guidelines for Consultants Reporting on Contaminated Sites'.



8 ABBREVIATIONS

Client: Clarke Keller

| Abbreviations | |
|----------------|---|
| ACM | Asbestos Containing Materials |
| AEC | Area of Environmental Concern |
| ASC | Assessment of Site Contamination |
| BTEX | Benzene, Toluene, Ethylbenzene, Xylenes |
| EPA | Environment Protection Authority |
| HIL | Health Investigation Level |
| km | Kilometre |
| L | Litre |
| LPI | Land and Property Information |
| L/s | Litres per second |
| m | Metres |
| m ² | Square Metres |
| mAHD | Metres above Australian Height Datum |
| mbgl | Metres Below Ground Level |
| mg/L | Milligrams per Litre |
| NEPC | National Environment Protection Council |
| NEPM | National Environment Protection Measure |
| NSW | New South Wales |
| OCP | Organochlorine Pesticides |
| OEH | Office of Environment and Heritage |
| PAH | Polycyclic Aromatic Hydrocarbons |
| PSI | Preliminary Site Investigation |
| SDS | Safety Data Sheet |
| SWL | Static Water Level |
| TBMV | Tathra Beach Motor Village |
| TRH | Total Recoverable Hydrocarbons |
| UPSS | Underground Petroleum Storage System |
| > | Greater than |
| < | Less than |





Client: Clarke Keller

9 STATEMENT OF LIMITATIONS

The PSI documented within this report was undertaken in order to assess the possible risk of contamination at the Goulburn Aquatic Centre located at 85 Deccan Street (a portion of Lot 1 DP 117890) Goulburn, NSW 2580.

The findings contained within this report are the result of the interpretation of site history enquiries and a site walkover undertaken in accordance with normal practices and standards. To the best of Robson's knowledge, our assessment of the data represents a reasonable interpretation of the general condition of the site. Under no circumstances, however, can it be considered that these findings represent the actual state of the entire site. In addition, the assessment did not include the direct sampling and analysis of soil, soil vapour or groundwater.

THIS REPORT MUST NOT BE REPRODUCED EXCEPT IN FULL AND MUST BE READ IN CONJUNCTION WITH THE REPORT TERMS AND CONDITIONS INCLUDED AFTER THE STATEMENT OF LIMITATIONS SECTION IN THIS REPORT.



Report Terms and Conditions

Contaminated Site Report

While Robson Environmental Pty Ltd (Robson) has taken all care to ensure that this report includes the most accurate information available, samples were taken where applicable, from the location indicated within the report and Robson is unable to comment on the existence or otherwise of any contaminants otherwise within the site.

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- This report shall only be presented in full and may not be used to support any other objective than those set out in the report, except where written approval with comments are provided by Robson.

Third Party Laboratories

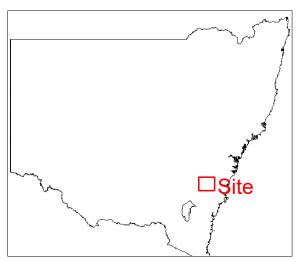
While Robson has taken all care to ensure that any report includes the most accurate information available, where it uses test results prepared by other persons it relies on the accuracy of the test results in preparing this report. In providing this report Robson does not warrant the accuracy of such third party test results.

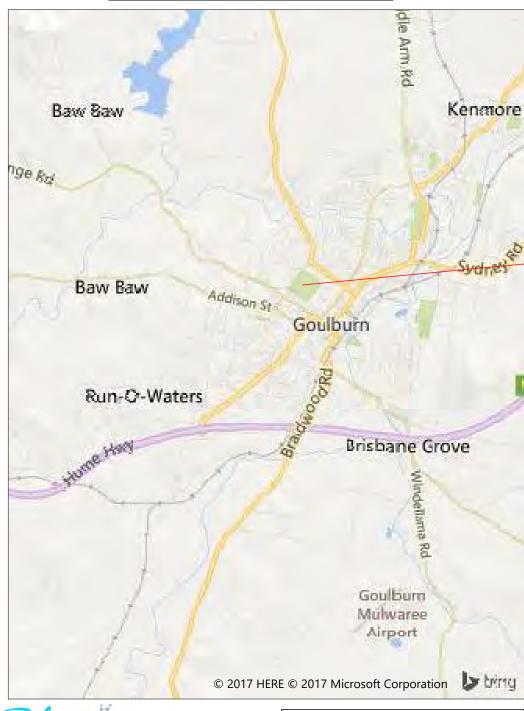
| HSEQ Management System | | | |
|---------------------------------------|--------------------------|--------|-------------|
| EAR_PF001_Report Terms and Conditions | Date Revised: 23/05/2017 | Rev: 2 | Page 1 of 1 |

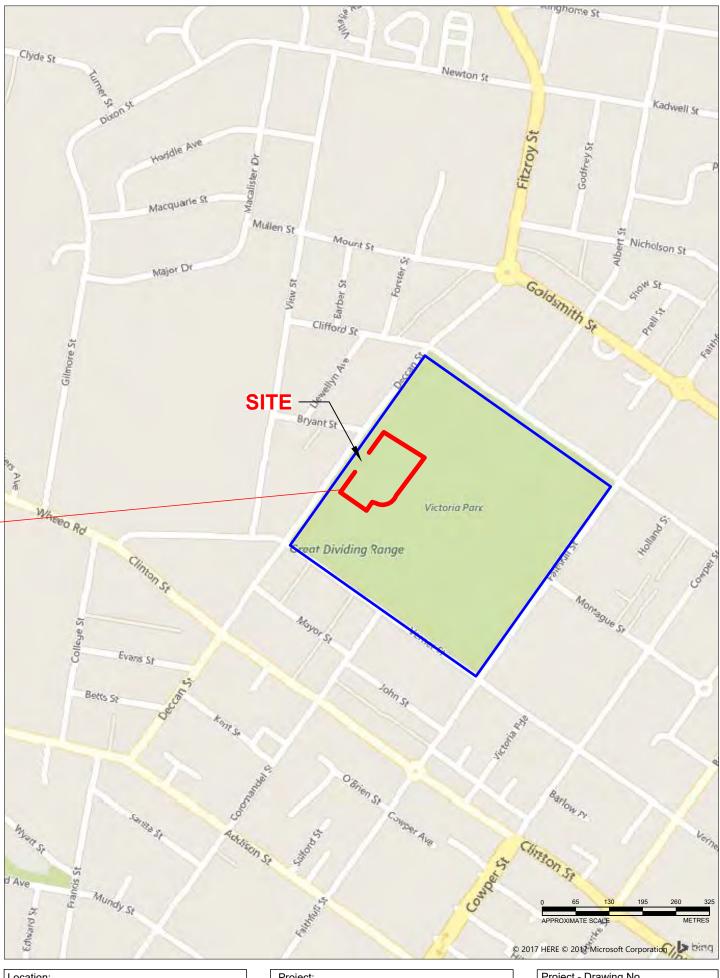


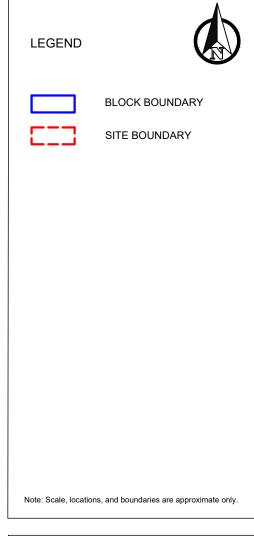
FIGURES

Figures 1 to 4









| Notes & Revisions: | | |
|--------------------|--|--|
| | | |
| | | |

Robson Environmental Pty Ltd P: 02 6239 5656 F: 02 6239 5669 E: admin@robsonenviro.com.au PO Box 112, Fyshwick 2609 www.robsonenviro.com.au ABN: 55 008 660 900

Client: Clarke Keller Location: Goulburn Aquatic Centre Lot 1 DP 117890 85 Deccan Street Goulburn NSW 2580

Preliminary Site Investigation Drawing Site Location Plan

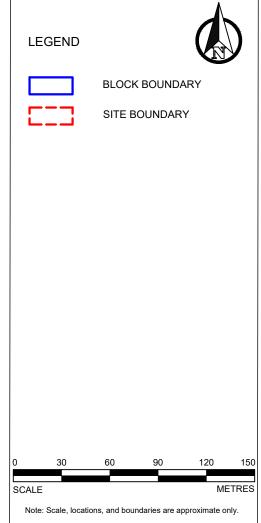
Title:

Project - Drawing No. 10514 References Ref: Map Data Sciences

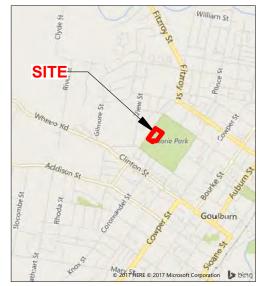
Rev. A Figure No.







Notes & Revisions:



Key Plan - inset

10514

References Ref: Near Maps Ref: Google Maps (inset)

Figure No.

Date 18.09.17 Drawn Signed DT Date Checked Signed 18.09.17 Ben Kendon

Project - Drawing No.

Location: Goulburn Aquatic Centre Lot 1 DP 117890 85 Deccan Street

Preliminary Site Investigation

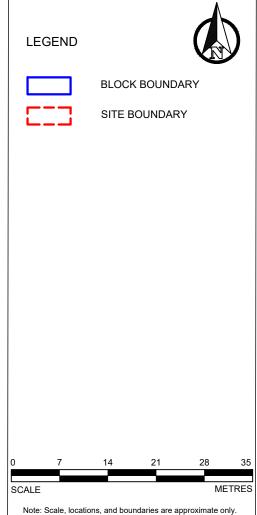
Drawing General Site Plan

Goulburn NSW 2580

Robson Environmental Pty Ltd P: 02 6239 5656 F: 02 6239 5669 E: admin@robsonenviro.com.au PO Box 112, Fyshwick 2609 www.robsonenviro.com.au ABN: 55 008 660 900 Clarke Keller

Client:





Notes & Revisions: Coordinate System: MGA-55 GDA94



Key Plan - inset

Figure No.

Date Drawn Signed 18.09.17 DT Checked Signed Date 18.09.17 Bu Kenden

3

Location:

Goulburn Aquatic Centre Lot 1 DP 117890 85 Deccan Street

Preliminary Site Investigation

Detailed Site Plan

Drawing Goulburn NSW 2580

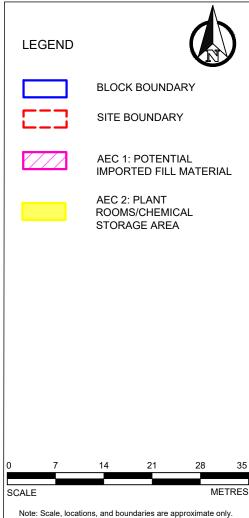
References Ref: Near Maps Ref: Google Maps (inset)

10514

P: 02 6239 5656 F: 02 6239 5669 E: admin@robsonenviro.com.au PO Box 112, Fyshwick 2609 www.robsonenviro.com.au ABN: 55 008 660 900 Client:

Clarke Keller





Notes & Revisions: Coordinate System: MGA-55 GDA94



Key Plan - inset

Figure No.

Drawn Signed Date 18.09.17 DT Checked Signed Date Ben Kendon 18.09.17

Location:

Goulburn Aquatic Centre Lot 1 DP 117890 85 Deccan Street

Preliminary Site Investigation

References Ref: Near Maps Ref: Google Maps (inset)

Project - Drawing No.

10514

Drawing
Title: Areas of Environmental Concern

Client: Robson Environmental Pty Ltd P: 02 6239 5656 F: 02 6239 5669 Clarke Keller E: admin@robsonenviro.com.au PO Box 112, Fyshwick 2609 www.robsonenviro.com.au ABN: 55 008 660 900 Goulburn NSW 2580



APPENDICES

Appendices A to G



Appendix A

Land Title Search Results

Client: Clarke Keller

InfoTrack An Approved LPI NSW Information Broker

Historical Title



LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

5/9/2017 3:09PM

FOLIO: 1/117890

First Title(s): SEE PRIOR TITLE(S)
Prior Title(s): VOL 459 FOL 189

| Recorded | Number | Type of Instrument | C.T. Issue |
|------------|----------|-----------------------------|--------------------------------|
| 21/8/1988 | | TITLE AUTOMATION PROJECT | LOT RECORDED FOLIO NOT CREATED |
| 15/3/1991 | | CONVERTED TO COMPUTER FOLIO | FOLIO CREATED CT NOT ISSUED |
| 7/9/2010 | AF741292 | DEPARTMENTAL DEALING | |
| 29/11/2012 | АН399867 | DEPARTMENTAL DEALING | |

*** END OF SEARCH ***

InfoTrack An Approved LPI NSW Information Broker

CT Enquiry



LAND AND PROPERTY INFORMATION NEW SOUTH WALES - CT INQUIRY

FOLIO: 1/117890

Status: TITLE NOT IN LPI

*** END OF SEARCH ***

InfoTrack An Approved LPI NSW Information Broker

Title Search



LAND AND PROPERTY INFORMATION NEW SOUTH WALES - TITLE SEARCH

FOLIO: 1/117890

 SEARCH DATE
 TIME
 EDITION NO
 DATE

 ---- --- ---

 5/9/2017
 3:07 PM

VOL 459 FOL 189 IS THE CURRENT CERTIFICATE OF TITLE

TIAND

LOT 1 IN DEPOSITED PLAN 117890

LOCAL GOVERNMENT AREA GOULBURN MULWAREE
PARISH OF GOULBURN COUNTY OF ARGYLE
TITLE DIAGRAM DP117890

FIRST SCHEDULE

THE MUNICIPAL COUNCIL OF GOULBURN

SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- * 2 DEDICATED AS THE SITE FOR PUBLIC RECREATION SEE CROWN GRANT
- * 3 THE LAND IS A RESERVE WITHIN THE MEANING OF PART 5 OF THE CROWN LANDS ACT 1989 AND THERE ARE RESTRICTIONS ON TRANSFER AND OTHER DEALINGS IN THE LAND UNDER THAT ACT, WHICH MAY REQUIRE CONSENT OF THE MINISTER.

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

PSI 10514

PRINTED ON 5/9/2017



Appendix B

Lotsearch (2017) 'Environmental Risk and Planning Report, 85 Deccan Street, Goulburn, NSW, 2580'



Environmental Risk and Planning Report

85 Deccan Street, Goulburn, NSW 2580

Report Date: 07 Sep 2017 18:18:29

Disclaimer:

The purpose of this report is to provide an overview of some of the site history, environmental risk and planning information available, affecting an individual address or geographical area in which the property is located. It is not a substitute for an on-site inspection or review of other available reports and records. It is not intended to be, and should not be taken to be, a rating or assessment of the desirability or market value of the property or its features. You should obtain independent advice before you make any decision based on the information within the report. The detailed terms applicable to use of this report are set out at the end of this report.

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Location Confidences

Where Lotsearch has had to georeference features from supplied addresses, a location confidence has been assigned to the data record. This indicates a confidence to the positional accuracy of the feature. Where applicable, a code is given under the field heading "LC" or "LocConf". These codes lookup to the following location confidences:

| LC Code | Location Confidence |
|---------|---|
| 1 | Georeferenced to the site location / premise or part of site |
| 2 | Georeferenced with the confidence of the general/approximate area |
| 3 | Georeferenced to the road or rail |
| 4 | Georeferenced to the road intersection |
| 5 | Feature is a buffered point |
| 6 | Land adjacent to Georeferenced Site |
| 7 | Georeferenced to a network of features |

Dataset Listing

Datasets contained within this report, detailing their source and data currency:

| Dataset Name | Custodian | Supply Date | Currency Date | Update Frequency | Dataset Buffer (m) | No. Features Onsite | No. Features within 100m | No. Features within Buffer |
|--|--|----------------|------------------|---------------------|--------------------------|---------------------------|-----------------------------------|-------------------------------------|
| Cadastre Boundaries | Department Finance, Services & Innovation | 07/09/2017 | 07/09/2017 | Daily | - | - | - | - |
| Topographic Data | Department Finance, Services & Innovation | 10/04/2015 | 01/04/2015 | As required | - | - | - | - |
| List of NSW contaminated sites notified to EPA | Environment Protection Authority | 28/08/2017 | 10/08/2017 | Monthly | 1000 | 0 | 0 | 3 |
| Contaminated Land: Records of Notice | Environment Protection Authority | 28/08/2017 | 28/08/2017 | Monthly | 1000 | 0 | 0 | 0 |
| Former Gasworks | Environment Protection Authority | 28/08/2017 | 16/01/2017 | Monthly | 1000 | 0 | 0 | 0 |
| National Waste Management Site Database | Geoscience Australia | 27/06/2017 | 07/03/2017 | Quarterly | 1000 | 0 | 0 | 0 |
| EPA PFAS Investigation Program | Environment Protection Authority | 28/08/2017 | 28/08/2017 | Monthly | 2000 | 0 | 0 | 0 |
| EPA Other Sites with Contamination Issues | Environment Protection Authority | 22/06/2017 | 22/06/2017 | Quarterly | 1000 | 0 | 0 | 0 |
| Licensed Activities under the POEO Act 1997 | Environment Protection Authority | 28/08/2017 | 28/08/2017 | Monthly | 1000 | 0 | 0 | 1 |
| Delicensed POEO Activities still Regulated by the EPA | Environment Protection Authority | 28/08/2017 | 28/08/2017 | Monthly | 1000 | 0 | 0 | 1 |
| Former POEO Licensed Activities now revoked or surrendered | Environment Protection Authority | 28/08/2017 | 28/08/2017 | Monthly | 1000 | 0 | 0 | 3 |
| UPSS Environmentally Sensitive Zones | Department of Environment, Climate Change and Water (NSW) | 14/04/2015 | 12/01/2010 | As required | 1000 | 1 | 1 | 1 |
| UBD Business Directory 1982 (Premise & Intersection Matches) | Hardie Grant | | | Not required | 150 | 0 | 2 | 3 |
| UBD Business Directory 1982 (Road & Area Matches) | Hardie Grant | | | Not required | 150 | - | 9 | 11 |
| UBD Business Directory 1970 (Premise & Intersection Matches) | Hardie Grant | | | Not required | 150 | 0 | 2 | 2 |
| UBD Business Directory 1970 (Road & Area Matches) | Hardie Grant | | | Not required | 150 | - | 4 | 6 |
| UBD Business Directory 1950 (Premise & Intersection Matches) | Hardie Grant | | | Not required | 150 | 0 | 2 | 2 |
| UBD Business Directory 1950 (Road & Area Matches) | Hardie Grant | | | Not required | 150 | - | 11 | 15 |
| UBD Business Directory Drycleaners & Motor Garages/Service Stations (Premise & Intersection Matches) | Hardie Grant | | | Not required | 1000 | 0 | 0 | 16 |
| UBD Business Directory Drycleaners & Motor Garages/Service Stations (Road & Area Matches) | Hardie Grant | | | Not required | 1000 | - | 0 | 10 |
| Points of Interest | Department Finance, Services & Innovation | 01/02/2017 | 01/02/2017 | Annually | 1000 | 2 | 2 | 36 |
| Tanks (Areas) | Department Finance, Services & Innovation | 01/02/2017 | 01/02/2017 | Annually | 1000 | 0 | 0 | 0 |
| Tanks (Points) | Department Finance, Services & Innovation | 01/02/2017 | 01/02/2017 | Annually | 1000 | 0 | 0 | 0 |
| Major Easements | Department Finance, Services & Innovation | 01/02/2017 | 01/02/2017 | As required | 1000 | 0 | 0 | 15 |
| State Forest | Department Finance, Services & Innovation | 01/02/2017 | 29/06/2016 | As required | 1000 | 0 | 0 | 0 |
| NSW National Parks and Wildlife Service Reserves | NSW Office of Environment and Heritage | 01/02/2017 | 31/12/2016 | Annually | 1000 | 0 | 0 | 0 |
| Hydrogeology Map of Australia | Commonwealth of Australia (Geoscience Australia) | 08/10/2014 | 17/03/2000 | As required | 1000 | 1 | 1 | 1 |
| Groundwater Boreholes | NSW Department of Primary Industries - Office of Water / Water Administration Ministerial Corporation; Commonwealth of Australia (Bureau of Meteorology) 2015 | 21/03/2016 | 01/12/2015 | Annually | 2000 | 0 | 0 | 106 |
| Geological Units 1:250,000 | NSW Department of Industry, Resources & Energy | 20/08/2014 | | None planned | 1000 | 1 | - | 3 |
| Geological Structures 1:250,000 | NSW Department of Industry, Resources & Energy | 20/08/2014 | | None planned | 1000 | 0 | - | 0 |

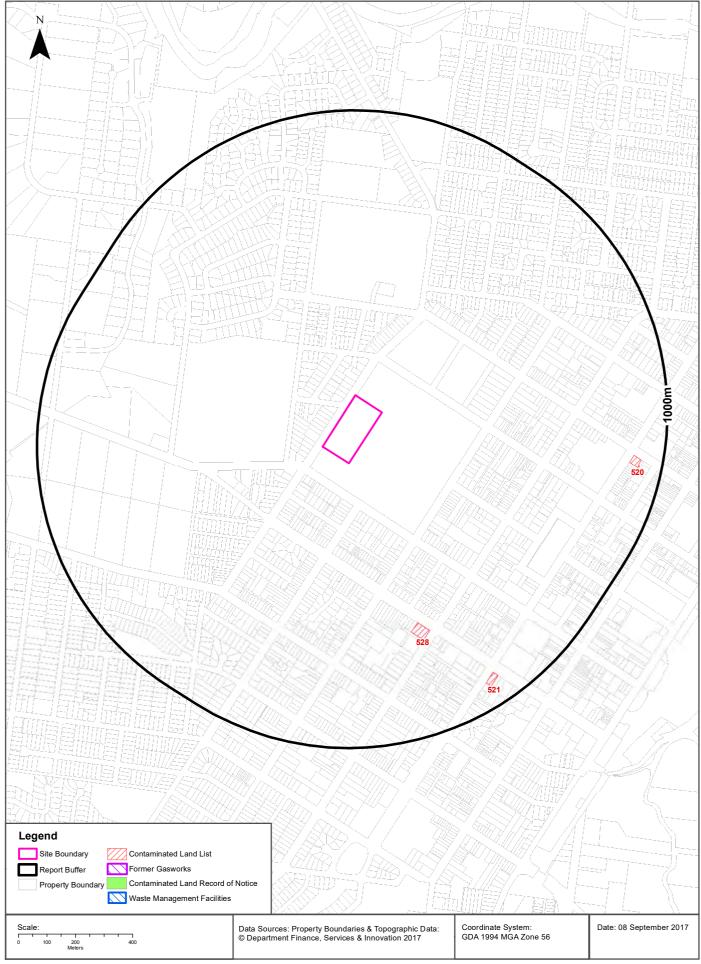
| Dataset Name | Custodian | Supply Date | Currency Date | Update Frequency | Dataset Buffer (m) | No. Features Onsite | No. Features within 100m | No. Features within Buffer |
|--|--|----------------|------------------|---------------------|--------------------------|---------------------------|-----------------------------------|-------------------------------------|
| Naturally Occurring Asbestos Potential | NSW Department of Industry, Resources & Energy | 04/12/2015 | 24/09/2015 | Unknown | 1000 | 0 | 0 | 0 |
| Soil Landscapes | NSW Office of Environment and Heritage | 12/08/2014 | | None planned | 1000 | 1 | - | 2 |
| Standard Local Environmental Plan Acid Sulfate Soils | NSW Planning and Environment | 07/10/2016 | 07/10/2016 | As required | 500 | 0 | - | - |
| Dryland Salinity - National Assessment | National Land and Water Resources Audit | 18/07/2014 | 12/05/2013 | None planned | 1000 | 0 | 0 | 0 |
| Dryland Salinity Potential of Western Sydney | NSW Office of Environment and Heritage | 12/05/2017 | 01/01/2002 | None planned | 1000 | - | - | - |
| Mining Subsidence Districts | Department Finance, Services & Innovation | 13/07/2017 | 01/07/2017 | As required | 1000 | 0 | 0 | 0 |
| SEPP 14 - Coastal Wetlands | NSW Planning and Environment | 17/12/2015 | 24/10/2008 | Annually | 1000 | 0 | 0 | 0 |
| SEPP 26 - Littoral Rainforest | NSW Planning and Environment | 17/12/2015 | 05/02/1988 | Annually | 1000 | 0 | 0 | 0 |
| SEPP 71 - Coastal Protection | NSW Planning and Environment | 17/12/2015 | 01/08/2003 | Annually | 1000 | 0 | 0 | 0 |
| SEPP Major Developments 2005 | NSW Planning and Environment | 09/03/2013 | 25/05/2005 | Under Review | 1000 | 0 | 0 | 0 |
| SEPP Strategic Land Use Areas | NSW Planning and Environment | 01/08/2017 | 28/01/2014 | Annually | 1000 | 0 | 0 | 0 |
| Local Environmental Plan - Land Zoning | NSW Planning and Environment | 30/06/2017 | 23/06/2017 | Quarterly | 1000 | 2 | 2 | 23 |
| Local Environmental Plan - Minimum Subdivision Lot Size | NSW Planning and Environment | 30/06/2017 | 23/06/2017 | Quarterly | 0 | 1 | - | - |
| Local Environmental Plan - Height of Building | NSW Planning and Environment | 30/06/2017 | 23/06/2017 | Quarterly | 0 | 0 | - | - |
| Local Environmental Plan - Floor Space Ratio | NSW Planning and Environment | 30/06/2017 | 23/06/2017 | Quarterly | 0 | 0 | - | - |
| Local Environmental Plan - Land Application | NSW Planning and Environment | 30/06/2017 | 13/04/2017 | Quarterly | 0 | 1 | - | - |
| Local Environmental Plan - Land Reservation Acquisition | NSW Planning and Environment | 30/06/2017 | 23/06/2017 | Quarterly | 0 | 0 | - | - |
| State Heritage Items | NSW Office of Environment and Heritage | 01/08/2017 | 27/05/2016 | Quarterly | 1000 | 0 | 0 | 2 |
| Local Heritage Items | NSW Planning and Environment | 30/06/2017 | 16/06/2017 | Monthly | 1000 | 1 | 5 | 117 |
| Bush Fire Prone Land | NSW Rural Fire Service | 01/08/2017 | 09/06/2017 | Quarterly | 1000 | 0 | 0 | 0 |
| Vegetation of Southern Forests | NSW Office of Environment and Heritage | 09/12/2014 | 10/10/2011 | Unknown | 1000 | 0 | 0 | 1 |
| RAMSAR Wetlands | Commonwealth of Australia Department of the Environment | 08/10/2014 | 24/06/2011 | As required | 1000 | 0 | 0 | 0 |
| ATLAS of NSW Wildlife | NSW Office of Environment and Heritage | 07/09/2017 | 07/09/2017 | Daily | 10000 | - | - | - |





Contaminated Land & Waste Management Facilities





Contaminated Land & Waste Management Facilities

85 Deccan Street, Goulburn, NSW 2580

List of NSW contaminated sites notified to EPA

Records from the NSW EPA Contaminated Land list within the dataset buffer:

| Map Id | Site | Address | Suburb | Activity | Management Class | Status | Location Confidence | Dist (m) | Direction |
|-----------|--|---|----------|--------------------|---|---------------------|------------------------|-------------|---------------|
| 528 | Coles Express Service Station | 90 Cowper (Corner Clinton Street) Street | Goulburn | Service Station | Regulation under CLM Act not required | Current EPA List | Premise Match | 609m | South |
| 520 | Caltex Service Station | 68 Goldsmith Street | Goulburn | Service Station | Under assessment | Current EPA List | Premise Match | 882m | East |
| 521 | Caltex Service Station | 72-74 Clinton Street | Goulburn | Service Station | Regulation under CLM Act not required | Current EPA List | Premise Match | 889m | South East |

The values within the EPA site management class in the table above, are given more detailed explanations in the table below:

| EPA site management class | Explanation |
|---|---|
| Contamination being managed via the planning process (EP&A Act) | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation. The contamination of this site is managed by the consent authority under the Environmental Planning and Assessment Act 1979 (EP&A Act) planning approval process, with EPA involvement as necessary to ensure significant contamination is adequately addressed. The consent authority is typically a local council or the Department of Planning and Environment. |
| Contamination currently regulated under CLM Act | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation under the Contaminated Land Management Act 1997 (CLM Act). Management of the contamination is regulated by the EPA under the CLM Act. Regulatory notices are available on the EPA's Contaminated Land Public Record of Notices. |
| Contamination currently regulated under POEO Act | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation. Management of the contamination is regulated under the Protection of the Environment Operations Act 1997 (POEO Act). The EPA's regulatory actions under the POEO Act are available on the POEO public register. |
| Contamination formerly regulated under the CLM Act | The EPA has determined that the contamination is no longer significant enough to warrant regulation under the Contaminated Land Management Act 1997 (CLM Act). The contamination was addressed under the CLM Act. |
| Contamination formerly regulated under the POEO Act | The EPA has determined that the contamination is no longer significant enough to warrant regulation. The contamination was addressed under the Protection of the Environment Operations Act 1997 (POEO Act). |
| Contamination was addressed via the planning process (EP&A Act) | The EPA has determined that the contamination is no longer significant enough to warrant regulation. The contamination was addressed by the appropriate consent authority via the planning process under the Environmental Planning and Assessment Act 1979 (EP&A Act). |
| Ongoing maintenance required to manage residual contamination (CLM Act) | The EPA has determined that ongoing maintenance, under the Contaminated Land Management Act 1997 (CLM Act), is required to manage the residual contamination. Regulatory notices under the CLM Act are available on the EPA's Contaminated Land Public Record of Notices. |
| Regulation being finalised | The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation under the Contaminated Land Management Act 1997. A regulatory approach is being finalised. |
| Regulation under the CLM Act not required | The EPA has completed an assessment of the contamination and decided that regulation under the Contaminated Land Management Act 1997 is not required. |
| Under assessment | The contamination is being assessed by the EPA to determine whether regulation is required. The EPA may require further information to complete the assessment. For example, the completion of management actions regulated under the planning process or Protection of the Environment Operations Act 1997. Alternatively, the EPA may require information via a notice issued under s77 of the Contaminated Land Management Act 1997 or issue a Preliminary Investigation Order. |

NSW EPA Contaminated Land List Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

Contaminated Land & Waste Management Facilities

85 Deccan Street, Goulburn, NSW 2580

Contaminated Land: Records of Notice

Record of Notices within the dataset buffer:

| Map Id | Name | Address | Suburb | Notices | Area No | Location Confidence | Distance | Direction |
|--------|----------------------|---------|--------|---------|------------|------------------------|----------|-----------|
| N/A | No records in buffer | | | | | | | |

Contaminated Land Records of Notice Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority Terms of use and disclaimer for Contaminated Land: Record of Notices, please visit http://www.epa.nsw.gov.au/clm/clmdisclaimer.htm

Former Gasworks

Former Gasworks within the dataset buffer:

| Map Id | Location | Council | Further Info | Location Confidence | Distance | Direction |
|-----------|----------------------|---------|--------------|------------------------|----------|-----------|
| N/A | No records in buffer | | | | | |

Former Gasworks Data Source: Environment Protection Authority

© State of New South Wales through the Environment Protection Authority

National Waste Management Site Database

Sites on the National Waste Management Site Database within the dataset buffer:

| Site Id | Owner | Name | Address | Suburb | Class | Landfill | Reprocess | Transfer | Comments | Loc Conf | Dist (m) | Direction |
|------------|----------------------|------|---------|--------|-------|----------|-----------|----------|----------|-------------|-------------|-----------|
| N/A | No records in buffer | | | | | | | | | | | |

Wate Management Facilities Data Source: Australian Governement Geoscience Australia Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

EPA PFAS Investigation Program

85 Deccan Street, Goulburn, NSW 2580

EPA PFAS Investigation Program

Sites that are part of the EPA PFAS investigation program, within the dataset buffer:

| ld | Site | Address | Location Confidence | Distance | Direction |
|-----|----------------------|---------|------------------------|----------|-----------|
| N/A | No records in buffer | | | | |

EPA PFAS Investigation Program: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

EPA Other Sites with Contamination Issues

85 Deccan Street, Goulburn, NSW 2580

EPA Other Sites with Contamination Issues

This dataset contains other sites identified on the EPA website as having contamination issues. This dataset currently includes:

- · James Hardie asbestos manufacturing and waste disposal sites
- Radiological investigation sites in Hunter's Hill

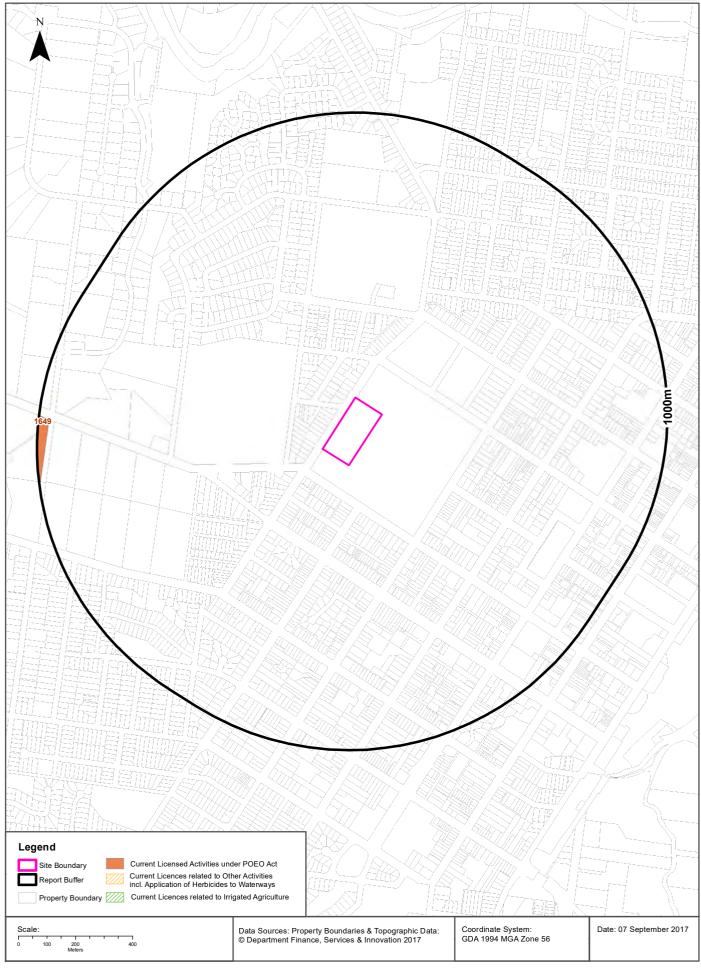
Sites within the dataset buffer:

| Site I | ld | Site Name | Site Address | Dataset | Comments | Location Confidence | Distance | Direction |
|--------|----|----------------------|--------------|---------|----------|------------------------|----------|-----------|
| N/A | | No records in buffer | | | | | | |

EPA Other Sites with Contamination Issues: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

Current EPA Licensed Activities





EPA Activities

85 Deccan Street, Goulburn, NSW 2580

Licensed Activities under the POEO Act 1997

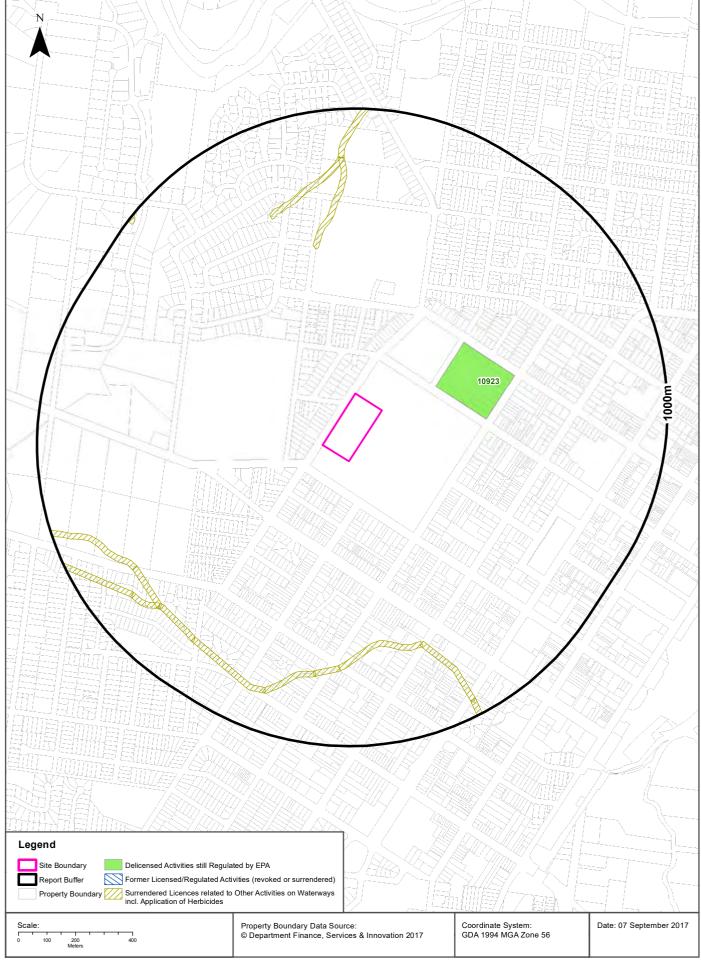
Licensed activities under the Protection of the Environment Operations Act 1997, within the dataset buffer:

| EPL | Organisation | Name | Address | Suburb | Activity | Loc Conf | Distance | Direction |
|------|---------------------------------|---------------------------|-----------------------|----------|--|-------------|----------|-----------|
| 1649 | GOULBURN MULWAREE COUNCIL | WATER FILTRATION PLANT | 233-235 WHEEO ROAD | GOULBURN | Miscellaneous licensed discharge to waters (at any time) | 1 | 964m | West |

POEO Licence Data Source: Environment Protection Authority
© State of New South Wales through the Environment Protection Authority

Delicensed & Former Licensed EPA Activities





EPA Activities

85 Deccan Street, Goulburn, NSW 2580

Delicensed Activities still regulated by the EPA

Delicensed activities still regulated by the EPA, within the dataset buffer:

| Licence No | Organisation | Name | Address | Suburb | Activity | Loc Conf | Distance | Direction |
|---------------|---|------------------------------|-------------------------|----------|--|-------------|----------|-----------|
| 10923 | GREATER SOUTHERN AREA HEALTH SERVICE | GOULBURN BASE HOSPITAL | 130 GOLDSMITH STREET | GOULBURN | Hazardous, Industrial or Group A Waste Generation or Storage | 1 | 205m | East |

Delicensed Activities Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

Former Licensed Activities under the POEO Act 1997, now revoked or surrendered

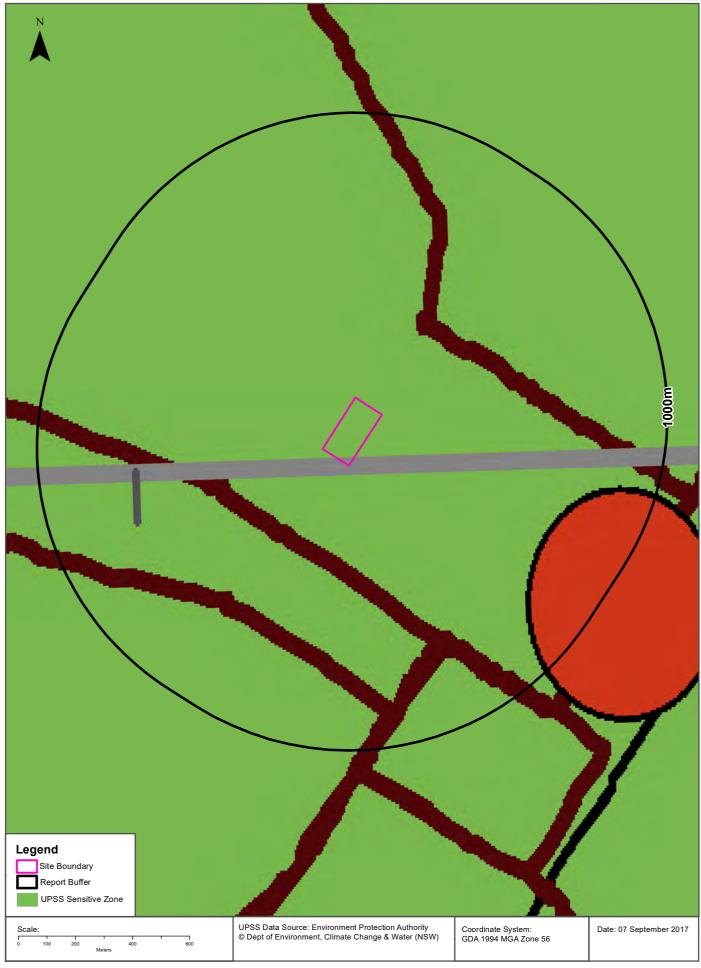
Former Licensed activities under the Protection of the Environment Operations Act 1997, now revoked or surrendered, within the dataset buffer:

| Licence No | Organisation | Location | Status | Issued Date | Activity | Loc Conf | Distance | Direction |
|---------------|--|---|-------------|----------------|--|-------------|----------|-----------|
| 4653 | LUHRMANN ENVIRONMENT MANAGEMENT PTY LTD | WATERWAYS THROUGHOUT NSW | Surrendered | | Other Activities / Non Scheduled Activity - Application of Herbicides | 7 | 523m | - |
| 4838 | Robert Orchard | Various Waterways throughout New South Wales - SYDNEY NSW 2000 | Surrendered | | Other Activities / Non Scheduled Activity - Application of Herbicides | 7 | 523m | - |
| 6630 | SYDNEY WEED & PEST MANAGEMENT PTY LTD | WATERWAYS THROUGHOUT NSW - PROSPECT, NSW, 2148 | Surrendered | | Other Activities / Non Scheduled Activity - Application of Herbicides | 7 | 523m | - |

Former Licensed Activities Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

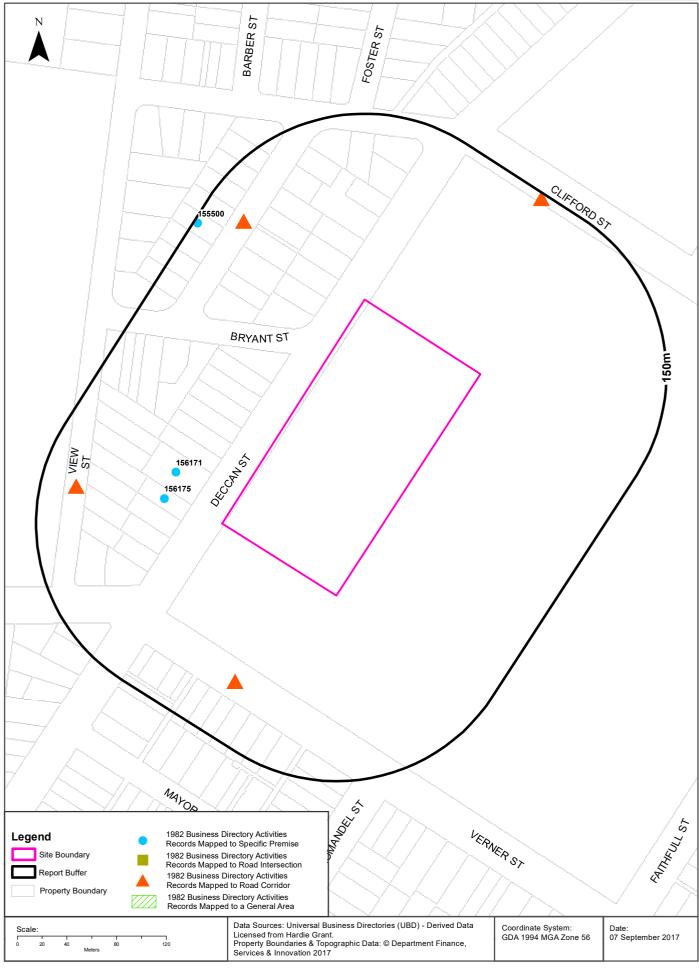
UPSS Sensitive Zones





1982 Historical Business Directory Records





85 Deccan Street, Goulburn, NSW 2580

1982 Business Directory Records Premise or Road Intersection Matches

Records from the 1982 UBD Business Directory, mapped to a premise or road intersection, within the dataset buffer:

| Business Activity | Premise | Ref No. | Location Confidence | Distance to Feature Point | Direction |
|---|--|---------|------------------------|------------------------------|------------|
| TILE FIXERS - FLOOR &/OR WALL | Birch, I., 72 Deccan St., Goulburn | 156175 | Premise Match | 51m | West |
| TANK &/OR TANKSTAND MFRS. &/OR DISTS | Goulburn Concrete Tanks. 74 Deccan St., Goulburn | 156171 | Premise Match | 54m | West |
| BUILDERS &/ OR BUILDING CONTRACTORS | Harding, F. D., 8 Llewellyn Ave., Goulburn | 155500 | Premise Match | 147m | North West |

Business Directory Content Derived from Universal Business Directories (UBD) - Licensed from Hardie Grant

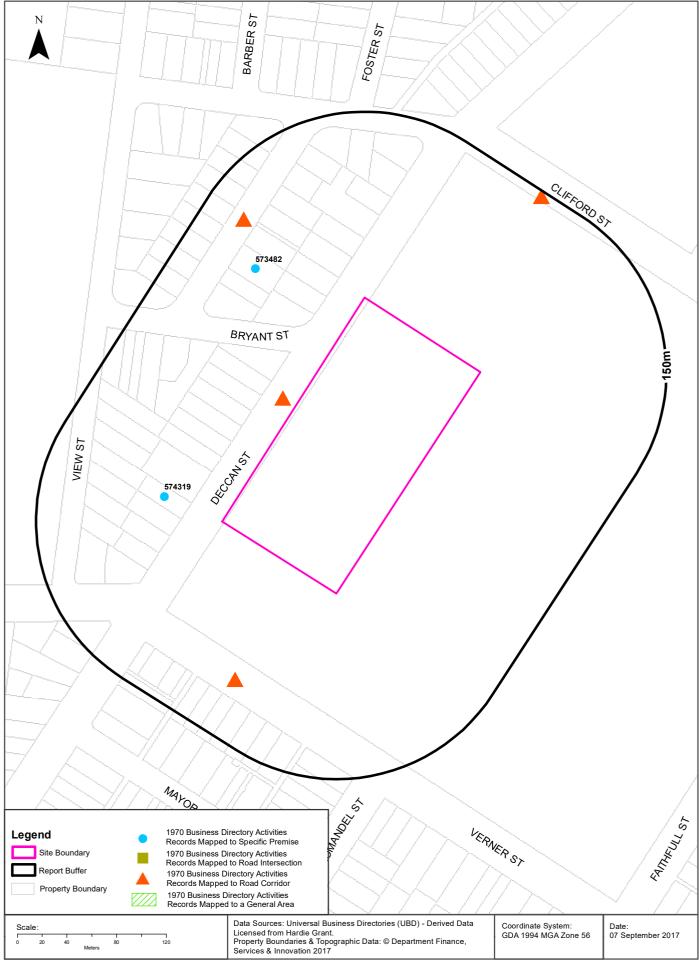
1982 Business Directory Records Road or Area Matches

Records from the 1982 UBD Business Directory, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

| Business Activity | Premise | Ref No. | Location Confidence | Distance to Road Corridor or Area |
|--|--|---------|------------------------|--------------------------------------|
| VETERINARY SUPPlieS &/OR INSTRUMENTS -RETAIL | Farmers & Graziers Co-operative CO, Ltd., Verner St., Goulburn | 156210 | Road Match | 84m |
| STATION &/OR FARM SUPPIIES | Farmers & Graziers Co-operative Co. Ltd., Verner St., Goulburn | 156145 | Road Match | 84m |
| WOOL BROKERS. | Farmers & Graziers Co-operative Co. Ltd., Verner St., Goulburn | 156224 | Road Match | 84m |
| WOOL STORES. | Farmers & Graziers Co-operative Co. Ltd., Verner St., Goulburn | 156228 | Road Match | 84m |
| AUCTIONEERS - GENERAL | Farmers & Graziers Co-operative Co. Ltd Verner St., Goulburn | 155462 | Road Match | 84m |
| INSURANCE AGENTS. | Farmers & Graziers Co-operative Co. Ltd Verner St., Goulburn | 155806 | Road Match | 84m |
| SCHOOLS &/ OR COLLEGES - PRIVATE &/OR PUBLIC | St. Patricks Primary, Verner St, Goulburn | 156109 | Road Match | 84m |
| SCHOOLS &/ OR COLLEGES - PRIVATE &/OR PUBLIC | St. Patricks Technical College, Verner St., Goulburn | 156110 | Road Match | 84m |
| BUILDERS &/ OR BUILDING CONTRACTORS | O'Brien, R. F., Llewellyn St., Goulburn | 155502 | Road Match | 95m |
| SCHOOLS &/ OR COLLEGES - PRIVATE &/OR PUBLIC | Goulburn Technical College, View St., Goulburn | 156097 | Road Match | 112m |
| BUTCHERS - RETAIL | El Meato, Clifford St., Goulburn | 155516 | Road Match | 134m |

1970 Historical Business Directory Records





85 Deccan Street, Goulburn, NSW 2580

1970 Business Directory Records Premise or Road Intersection Matches

Records from the 1970 UBD Business Directory, mapped to a premise or road intersection, within the dataset buffer:

| Business Activity | Premise | Ref No. | Location Confidence | Distance to Feature Point | Direction |
|------------------------------------|--|---------|------------------------|---------------------------|------------|
| TILE FIXERS-FLOOR & WALL | Birch, Ian, 72 Deccan St. Goulburn | 574319 | Premise Match | 51m | West |
| BUILDERS &/OR BUILDING CONTRACTORS | Dunlavie, E., 1 Llewellyn St. Goulburn | 573482 | Premise Match | 87m | North West |

Business Directory Content Derived from Universal Business Directories (UBD) - Licensed from Hardie Grant

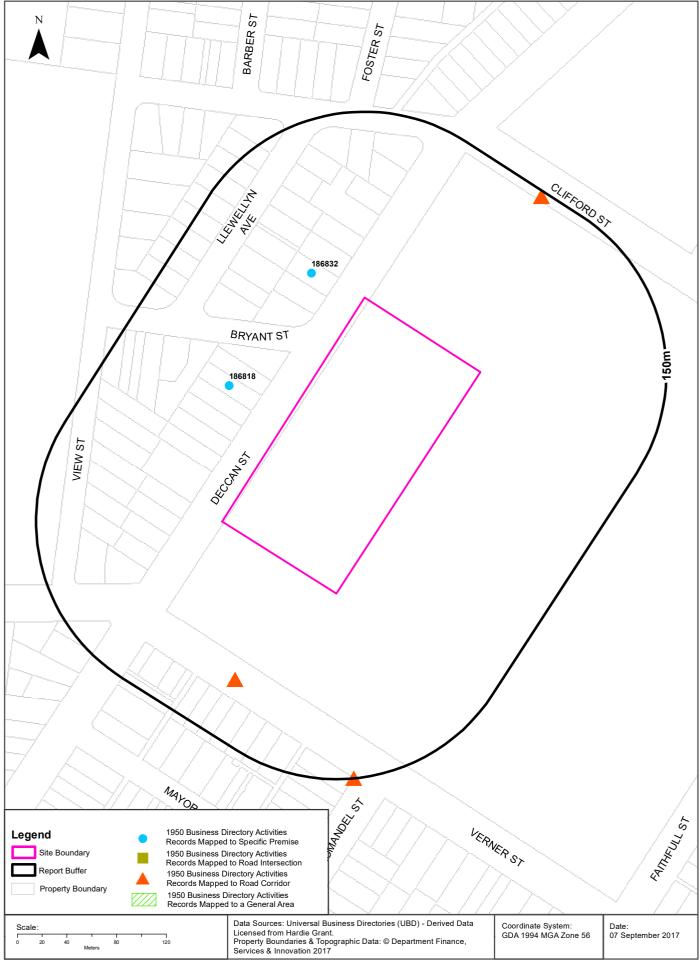
1970 Business Directory Records Road or Area Matches

Records from the 1970 UBD Business Directory, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

| Business Activity | Premise | Ref No. | Location Confidence | Distance to Road Corridor or Area |
|--|--|---------|------------------------|--------------------------------------|
| ASSOCIATIONS, SOCIETIES, CLUBS & SPORTING BODIES | Gilbert & Sullivan Society, Deccon St. Goulburn | 573362 | Road Match | Om |
| MOTELS | Goulburn Central Travelodge Motel, Verner St. Goulburn | 573985 | Road Match | 84m |
| SCHOOLS & COLLEGES- TECHNICAL | St. Patrick's Technical College, Verner St. Goulburn | 574236 | Road Match | 84m |
| BUILDERS &/OR BUILDING CONTRACTORS | O'Brien, R. F., Llewellyn St. Goulburn | 573488 | Road Match | 95m |
| TYRE DEALERS, RETREADERS & VULCANIZERS | Circle Service Station, Clifford St. Goulburn | 574338 | Road Match | 134m |
| MOTOR GARAGES & ENGINEERS | Circle Service Station, Cnr. Bourille & Clifford Sts. Goulburn | 574048 | Road Match | 134m |

1950 Historical Business Directory Records





85 Deccan Street, Goulburn, NSW 2580

1950 Business Directory Records Premise or Road Intersection Matches

Records from the 1950 UBD Business Directory, mapped to a premise or road intersection, within the dataset buffer:

| Business Activity | Premise | Ref No. | Location Confidence | Distance to Feature Point | Direction |
|----------------------|---|---------|------------------------|---------------------------|------------|
| SOLICITORS | Kennedy, C. S., 94 Deccan St., Goulburn | 186832 | Premise Match | 47m | North |
| SHEARING CONTRACTORS | Rowe, H., 84 Deccan St., Goulburn | 186818 | Premise Match | 54m | North West |

Business Directory Content Derived from Universal Business Directories (UBD) - Licensed from Hardie Grant

1950 Business Directory Records Road or Area Matches

Records from the 1950 UBD Business Directory, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

| Business Activity | Premise | Ref No. | Location Confidence | Distance to Road Corridor or Area |
|-----------------------------------|--|---------|------------------------|--------------------------------------|
| SCHOOLS & COLLEGES | Christian Brothers Technical and Primary School, Verner St., Goulburn | 186796 | Road Match | 84m |
| REAL ESTATE AGENTS | Goldsbrough, Mort and Co., Verner St., Goulburn | 186764 | Road Match | 84m |
| WOOL BROKER | Goldsbrough Mort, Verner St., Goulburn | 186963 | Road Match | 84m |
| INSURANCE AGENTS | Goldsbrough, Mort and Co. (Agents, Western Insrnce. Co.), Verner St., Goulburn | 186390 | Road Match | 84m |
| SHEEP DIPS & DRENCHES | Goldsbrough, Mort and Co. (Cooper Sheep Dips), Verner St., Goulburn | 186820 | Road Match | 84m |
| AUCTIONEERS | Goldsbrough, Mort and Co. Ltd., Verner St., Goulburn | 185967 | Road Match | 84m |
| MERCHANTS-GENERAL- WHOLESALE | Goldsbrough, Mort and Co., Verner St., Goulburn | 186488 | Road Match | 84m |
| STOCK & STATION AGENTS | Goldsbrough, Mort and Co., Verner St., Goulburn | 186851 | Road Match | 84m |
| STATION SUPPLIES | Goldsbrough, Mort, Verner St., Goulburn | 186845 | Road Match | 84m |
| SCHOOLS & COLLEGES | St. Patrick's Technical College, Verner St., Goulburn | 186803 | Road Match | 84m |
| MEDICAL PRACTITIONERS | Woods, Dr. R. G., 65 Verner St., Goulburn | 186476 | Road Match | 84m |
| PRODUCE MERCHANTS-RETAIL | Cooper, J, Clifford St., Goulburn | 186743 | Road Match | 134m |
| GOVERNMENT DEPARTMENTS | Dept. of Main Roads, Clifford St., Goulburn | 186248 | Road Match | 134m |
| GROCERS & GENERAL STOREKEEPERS | Hllyard, S., 188 Clifford St., Goulburn | 186283 | Road Match | 134m |
| MILK VENDORS | Gray, J. L., Coromandel St., Goulburn | 186530 | Road Match | 150m |

85 Deccan Street, Goulburn, NSW 2580

Dry Cleaners, Motor Garages & Service Stations Premise or Road Intersection Matches

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories, mapped to a premise or road intersection, within the dataset buffer:

| Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Feature Point | Direction |
|--|--|---------|------|------------------------|---------------------------|------------|
| MOTOR GARAGES & ENGINEERS | Croker, M. T., 68 Clinton St., Goulburn | 186600 | 1950 | Premise Match | 527m | South |
| MOTOR GARAGES & ENGINEERS | Partlett, B. W., 60 Clinton St., Goulburn | 186612 | 1950 | Premise Match | 527m | South |
| MOTOR GARAGES & ENGINEERS | Murray's Service Station, 90 Cowper St. Goulburn | 574063 | 1970 | Premise Match | 574m | South East |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Elliott, T. E. & A. J., , 110 Clinton St., Goulburn | 155934 | 1982 | Premise Match | 632m | South |
| MOTOR GARAGES & ENGINEERS | Esso Servicenter, 110 Clinton St. Goulburn | 574052 | 1970 | Premise Match | 632m | South |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Shell Goulburn Self Serve, 90 Cowper St., Goulburn | 155953 | 1982 | Premise Match | 650m | South |
| MOTOR GARAGES & ENGINEERS | Smith, R. A., 219 Faithfull St., Goulburn | 186616 | 1950 | Premise Match | 654m | North East |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Gardner's Motor Repairs, 133 Bourke St., Goulburn | 155937 | 1982 | Premise Match | 836m | South East |
| MOTOR GARAGES & ENGINEERS | Gardner's Motor Repairs, 133 Bourke St. Goulburn | 574054 | 1970 | Premise Match | 836m | South East |
| MOTOR GARAGES & ENGINEERS | Murray, K., 224 Bourke St., Goulburn | 186610 | 1950 | Premise Match | 879m | East |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | McDonald, K. & L. Holdings Pty. Ltd., 193 Bourke St., Goulburn | 155950 | 1982 | Premise Match | 890m | East |
| MOTOR GARAGES & ENGINEERS | Goulburn Motors, 74 Clinton St. Goulburn | 574058 | 1970 | Premise Match | 916m | South East |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Goulburn Motors, Ampol, 70 Clinton St., Goulburn | 155941 | 1982 | Premise Match | 952m | South East |
| MOTOR GARAGES & ENGINEERS | Divail Bros., 239 Auburn St., Goulburn | 186602 | 1950 | Premise Match | 959m | East |
| MOTOR SERVICE STATIONS- PETROL, OIL, Etc. | Croker's Garage, 62 Clinton St. Goulburn | 574097 | 1970 | Premise Match | 966m | South East |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Harveys Mobil Service Centre, 68 Clinton St., Goulburn | 155945 | 1982 | Premise Match | 969m | South East |

85 Deccan Street, Goulburn, NSW 2580

Dry Cleaners, Motor Garages & Service Stations Road or Area Matches

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

| Business Activity | Premise | Ref No. | Year | Location Confidence | Distance to Road Corridor or Area |
|--|---|---------|------|------------------------|--------------------------------------|
| MOTOR GARAGES & ENGINEERS | Circle Service Station, Cnr. Bourille & Clifford Sts. Goulburn | 574048 | 1970 | Road Match | 134m |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | BP Signpost Service Station, Clinton St., Goulburn | 155929 | 1982 | Road Match | 297m |
| MOTOR GARAGES & ENGINEERS | Perce Large Pty. Ltd., 41 Clinton St., Goulburn | 186614 | 1950 | Road Match | 297m |
| MOTOR GARAGES & ENGINEERS | Total Service Station, 52 Clinton St. Goulburn | 574070 | 1970 | Road Match | 297m |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Total Service Station, Clinton St., Goulburn | 155957 | 1982 | Road Match | 297m |
| DRY CLEANERS, PRESSERS & DYERS | R. and R. Dry Cleaning and Dyeing Co., 2 Montague, Goulburn | 186141 | 1950 | Road Match | 353m |
| MOTOR SERVICE STATIONS- PETROL, OIL, Etc. | Armstrong, T. G. & N., Bourke St. Goulburn | 574095 | 1970 | Road Match | 790m |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Caradel Hire, 145 Bourke St., Goulburn | 155932 | 1982 | Road Match | 790m |
| MOTOR SERVICE STATIONS- PETROL, OIL, Etc. | Lubrication Specialists Pty. Ltd., 14-16 Ellesmere St. Goulburn | 574102 | 1970 | Road Match | 912m |
| MOTOR GARAGES &/OR ENGINEERS &/ OR SERVICE STATIONS. | Storrier, J. R., 14 Ellesmere St., Goulburn | 155955 | 1982 | Road Match | 912m |





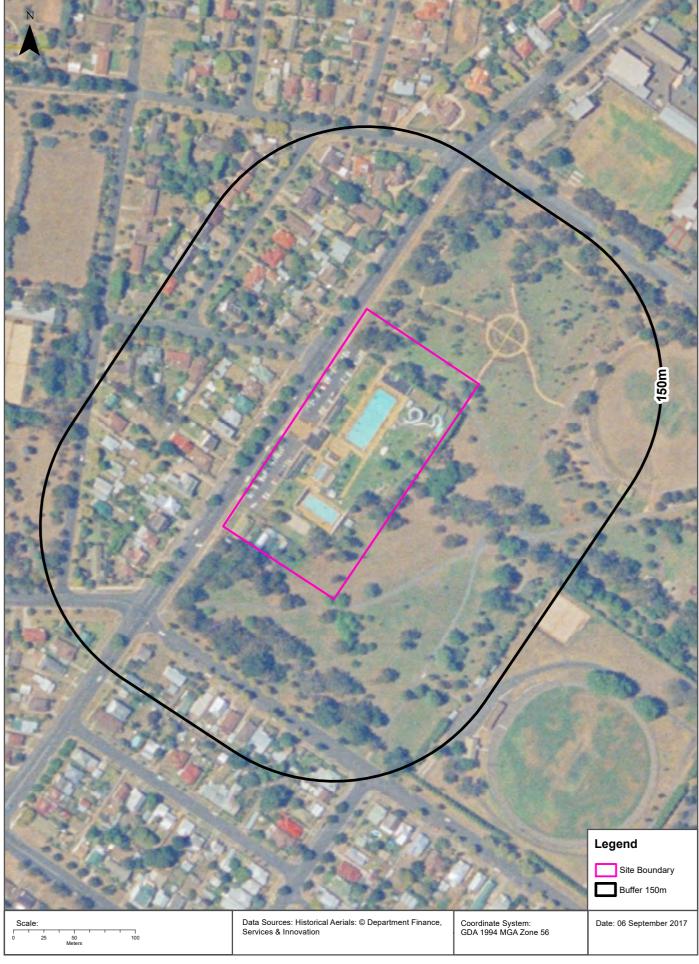












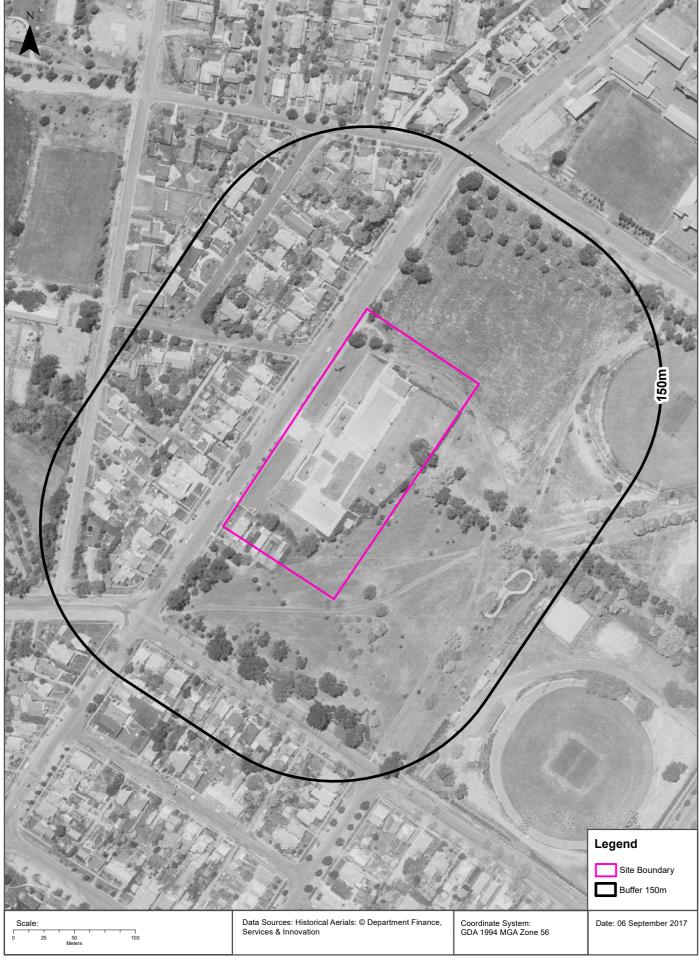




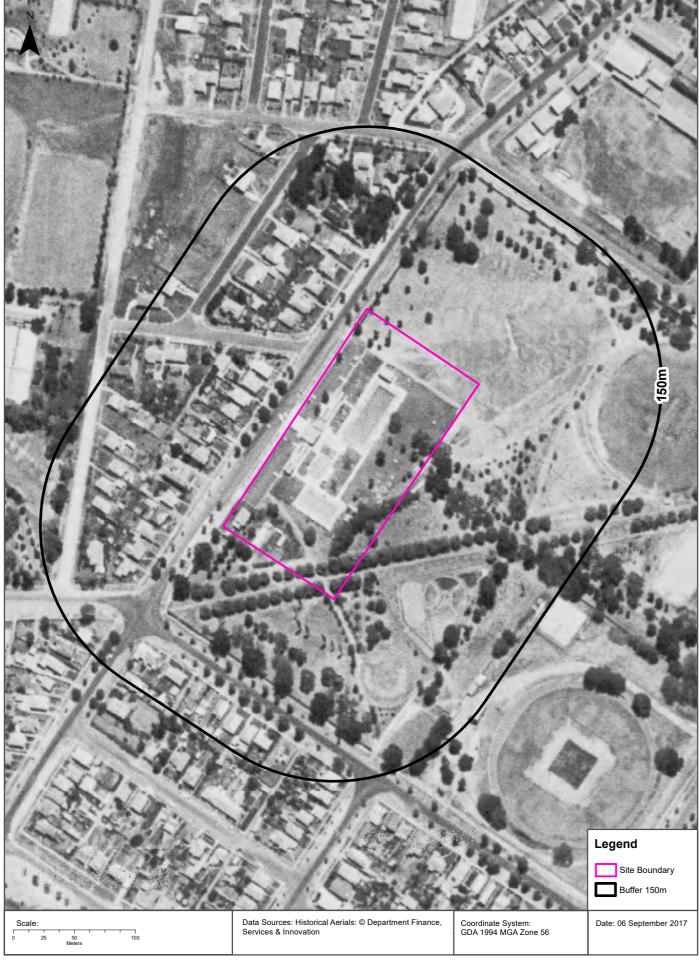




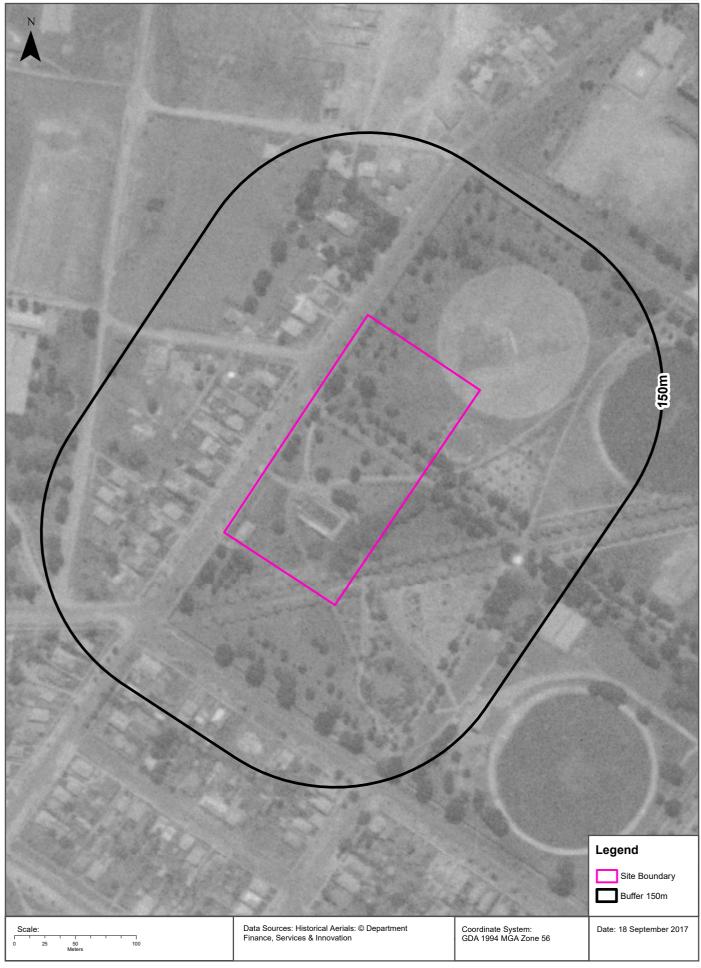




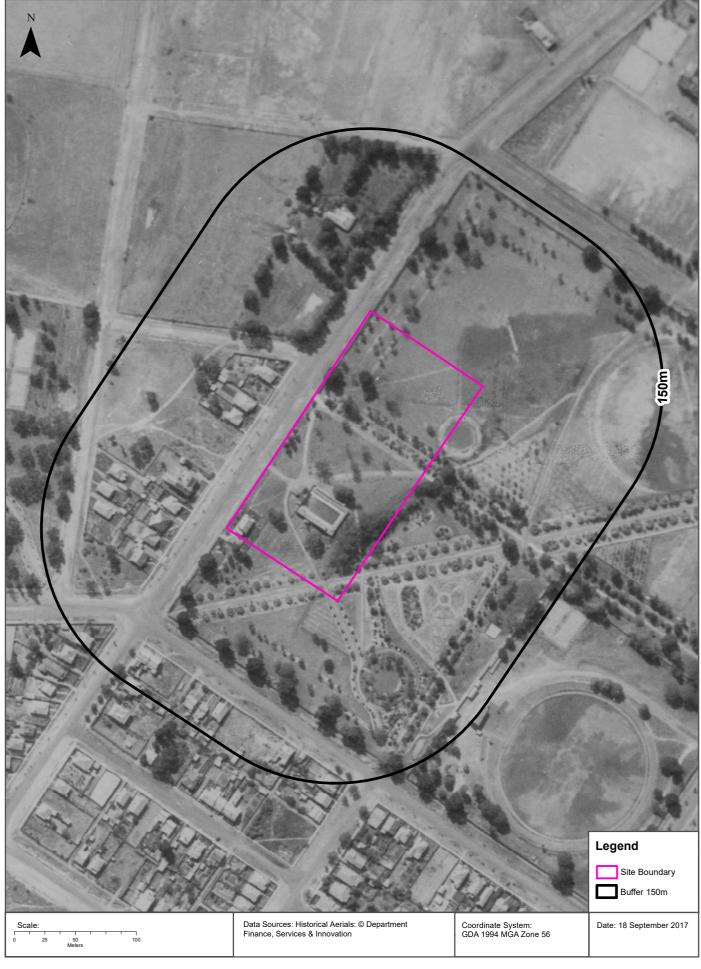






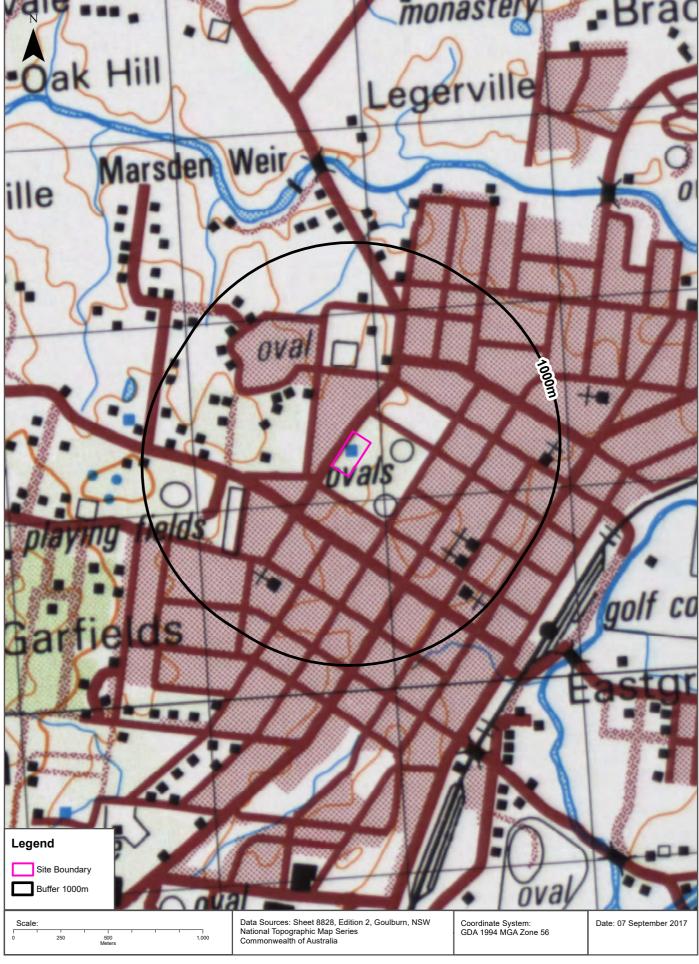






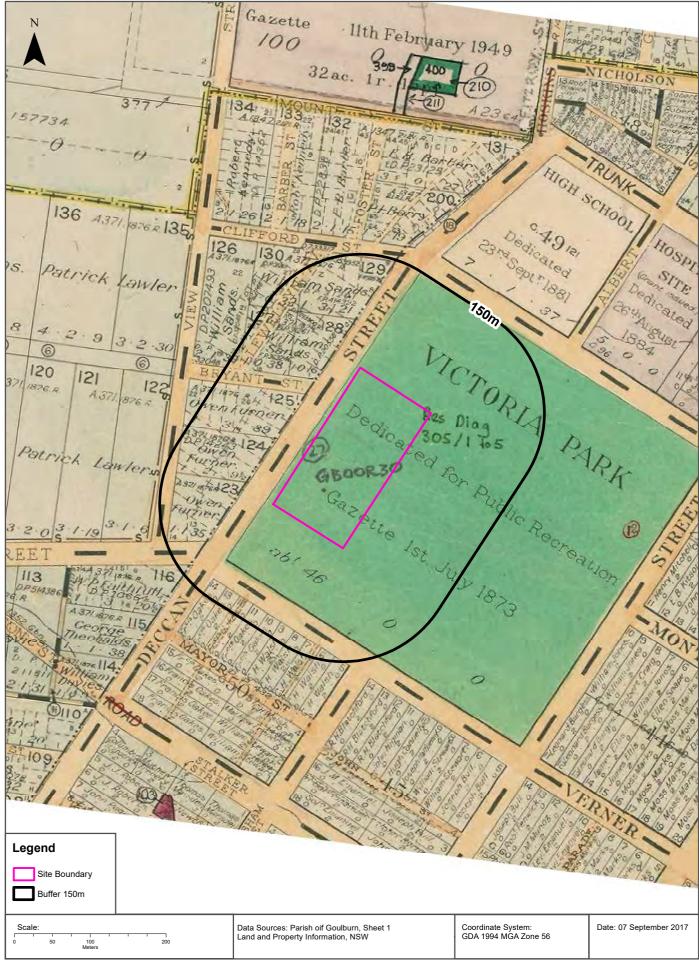
Historical Map 1981





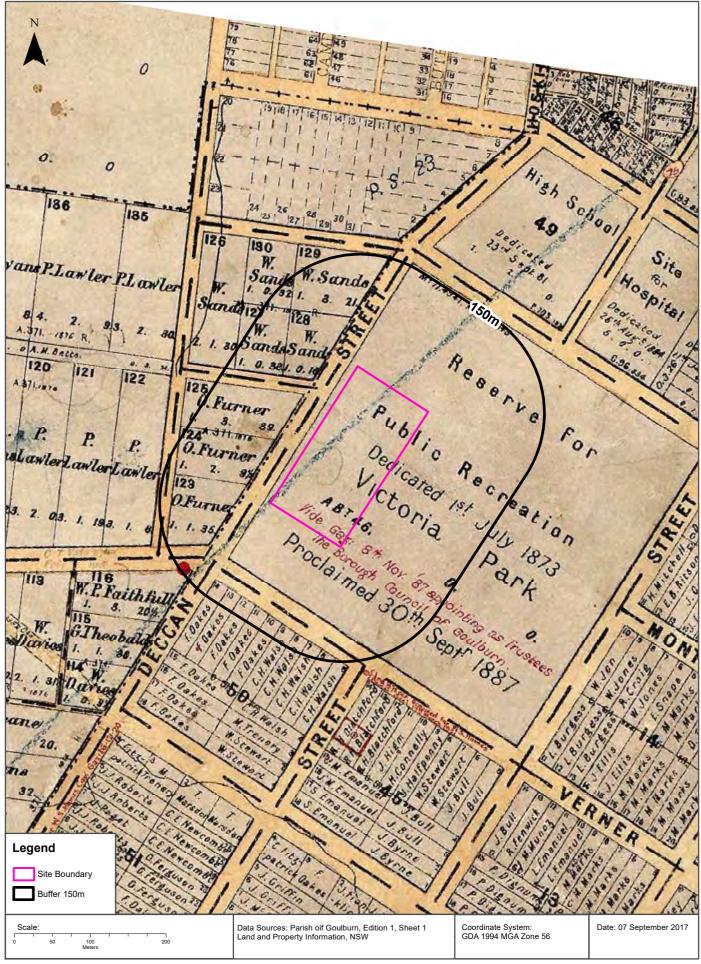
Historical Map 1973





Historical Map 1914

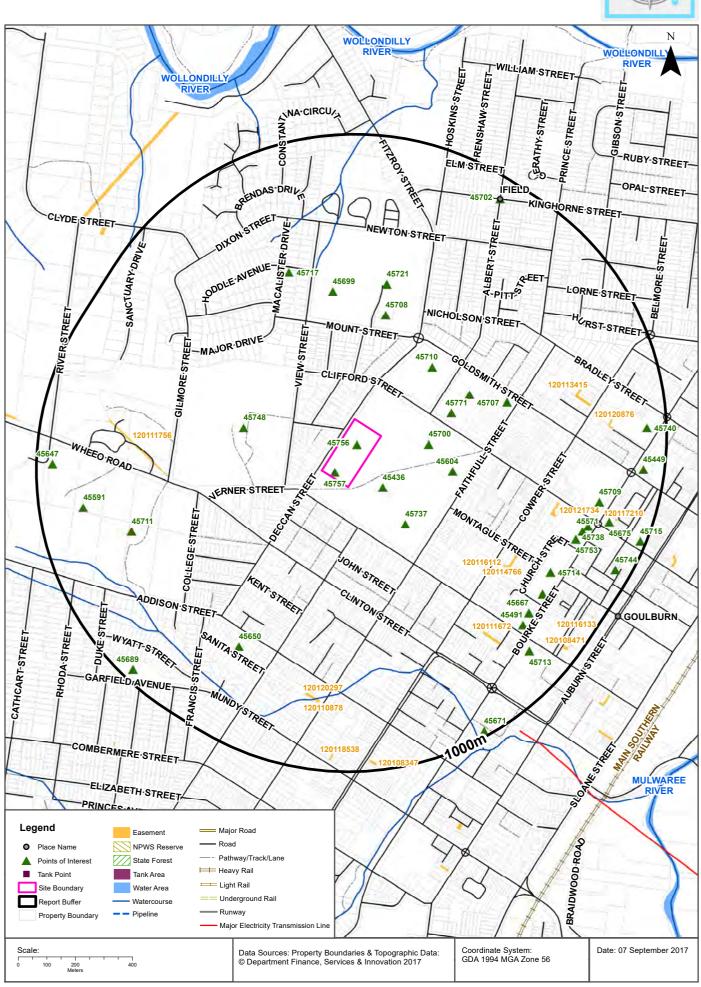




Topographic Features







Topographic Features

85 Deccan Street, Goulburn, NSW 2580

Points of Interest

What Points of Interest exist within the dataset buffer?

| Map Id | Feature Type | Label | Distance | Direction |
|--------|---------------------------|---------------------------------------|----------|------------|
| 45756 | Swimming Pool Facility | GOULBURN AQUATIC CENTRE | 0m | Onsite |
| 45757 | Sports Court | SKATE PARK | 0m | Onsite |
| 45436 | Park | VICTORIA PARK | 103m | South East |
| 45700 | Sports Field | PRELL OVAL | 168m | East |
| 45737 | Sports Field | SEIFFERT OVAL | 239m | South East |
| 45771 | Helipad | Helipad | 258m | East |
| 45604 | Sports Field | BOWLING GREEN | 279m | East |
| 45710 | High School | GOULBURN HIGH SCHOOL | 301m | North East |
| 45748 | TAFE College | GOULBURN TAFE COLLEGE | 312m | West |
| 45712 | General Hospital | GOULBURN BASE HOSPITAL | 341m | North East |
| 45708 | Special School | THE CRESCENT SCHOOL | 380m | North |
| 45699 | Sports Field | PEDEN OVAL | 454m | North |
| 45707 | Medical Centre | GOULBURN COMMUNITY HEALTH CENTRE | 456m | East |
| 45721 | Primary School | WOLLONDILLY PUBLIC SCHOOL | 486m | North |
| 45717 | Place Of Worship | ORTHODOX CHURCH | 563m | North |
| 45650 | Place Of Worship | ANGLICAN CHURCH | 678m | South West |
| 45711 | High School | TRINITY CATHOLIC COLLEGE | 700m | West |
| 45714 | Place Of Worship | ANGLICAN CHURCH | 758m | South East |
| 45753 | Art Gallery | Art Gallery | 772m | East |
| 45667 | Place Of Worship | BAPTIST CHURCH | 772m | South East |
| 45448 | Place Of Worship | ANGLICAN CHURCH | 776m | South East |
| 45571 | Local Government Chambers | GOULBURN MULWAREE COUNCIL | 780m | East |
| 45491 | Community Facility | GOULBURN REGIONAL CONSERVATORIUM | 781m | South East |
| 45738 | Library | GOULBURN REGIONAL LIBRARY | 790m | East |
| 45709 | Primary School | GOULBURN PUBLIC SCHOOL | 798m | East |
| 45591 | Sports Field | WEXTED OVAL | 846m | West |
| 45675 | Fire Station | GOULBURN FIRE STATION | 853m | East |
| 45713 | Place Of Worship | CATHOLIC CHURCH | 857m | South East |
| 45702 | Locality | IFIELD | 925m | North East |
| 45449 | Place Of Worship | UNITING CHURCH | 925m | East |
| 45740 | General Hospital | BOURKE STREET HEALTH SERVICE GOULBURN | 930m | East |
| 45647 | Cemetery | Cemetery | 943m | West |

| Map Id | Feature Type | Label | Distance | Direction |
|--------|------------------|------------------------|----------|------------|
| 45744 | Club | GOULBURN WORKERS' CLUB | 945m | South East |
| 45689 | Park | GARFIELD PARK | 963m | South West |
| 45715 | Place Of Worship | PRESBYTERIAN CHURCH | 979m | East |
| 45671 | SES Facility | GOULBURN SES | 981m | South East |

Topographic Data Source: © Land and Property Information (2015)

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Topographic Features

85 Deccan Street, Goulburn, NSW 2580

Tanks (Areas)

What are the Tank Areas located within the dataset buffer?

Note. The large majority of tank features provided by LPI are derived from aerial imagery & are therefore primarily above ground tanks.

| Map Id | Tank Type | Status | Name | Feature Currency | Distance | Direction |
|--------|----------------------|--------|------|------------------|----------|-----------|
| | No records in buffer | | | | | |

Tanks (Points)

What are the Tank Points located within the dataset buffer?

Note. The large majority of tank features provided by LPI are derived from aerial imagery & are therefore primarily above ground tanks.

| Map Id | Tank Type | Status | Name | Feature Currency | Distance | Direction |
|--------|----------------------|--------|------|------------------|----------|-----------|
| | No records in buffer | | | | | |

Tanks Data Source: © Land and Property Information (2015)

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Major Easements

What Major Easements exist within the dataset buffer?

Note. Easements provided by LPI are not at the detail of local governments. They are limited to major easements such as Right of Carriageway, Electrical Lines (66kVa etc.), Easement to drain water & Significant subterranean pipelines (gas, water etc.).

| Map Id | Easement Class | Easement Type | Easement Width | Distance | Direction |
|-----------|----------------|---------------|----------------|----------|------------|
| 120111756 | Primary | Undefined | | 543m | West |
| 120116112 | Primary | Undefined | | 606m | South East |
| 120118717 | Primary | Undefined | | 624m | South East |
| 120114766 | Primary | Undefined | | 624m | South East |
| 120121734 | Primary | Undefined | | 654m | East |
| 120113415 | Primary | Undefined | | 694m | East |
| 120111672 | Primary | Undefined | | 697m | South East |
| 120110878 | Primary | Undefined | | 738m | South |
| 120120297 | Primary | Undefined | | 740m | South |
| 120120876 | Primary | Undefined | | 796m | East |
| 120117210 | Primary | Undefined | | 872m | East |
| 120108471 | Primary | Undefined | | 941m | South East |
| 120118538 | Primary | Undefined | | 942m | South |
| 120108347 | Primary | Undefined | | 963m | South |
| 120116133 | Primary | Undefined | | 965m | South East |

Topographic Features

85 Deccan Street, Goulburn, NSW 2580

State Forest

What State Forest exist within the dataset buffer?

| State Forest Number | State Forest Name | Distance | Direction |
|---------------------|----------------------|----------|-----------|
| N/A | No records in buffer | | |

State Forest Data Source: © Land and Property Information (2015)

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National Parks and Wildlife Service Reserves

What NPWS Reserves exist within the dataset buffer?

| Reserve Number | Reserve Type | Reserve Name | Gazetted Date | Distance | Direction |
|----------------|----------------------|--------------|----------------------|----------|-----------|
| N/A | No records in buffer | | | | |

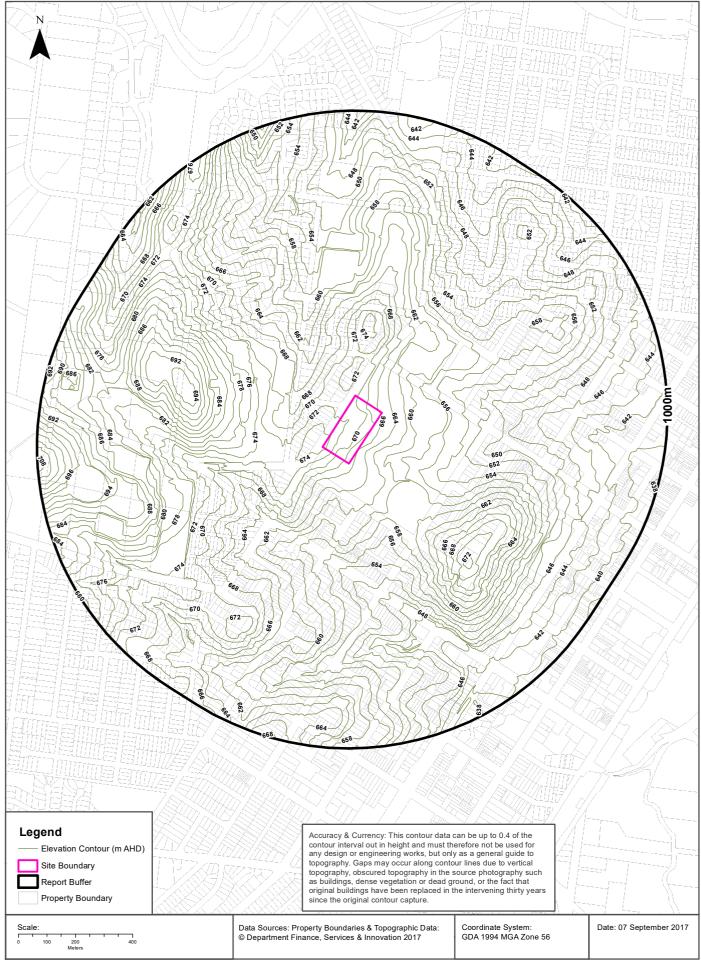
NPWS Data Source: © Land and Property Information (2015)

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Elevation Contours (m AHD)

85 Deccan Street, Goulburn, NSW 2580

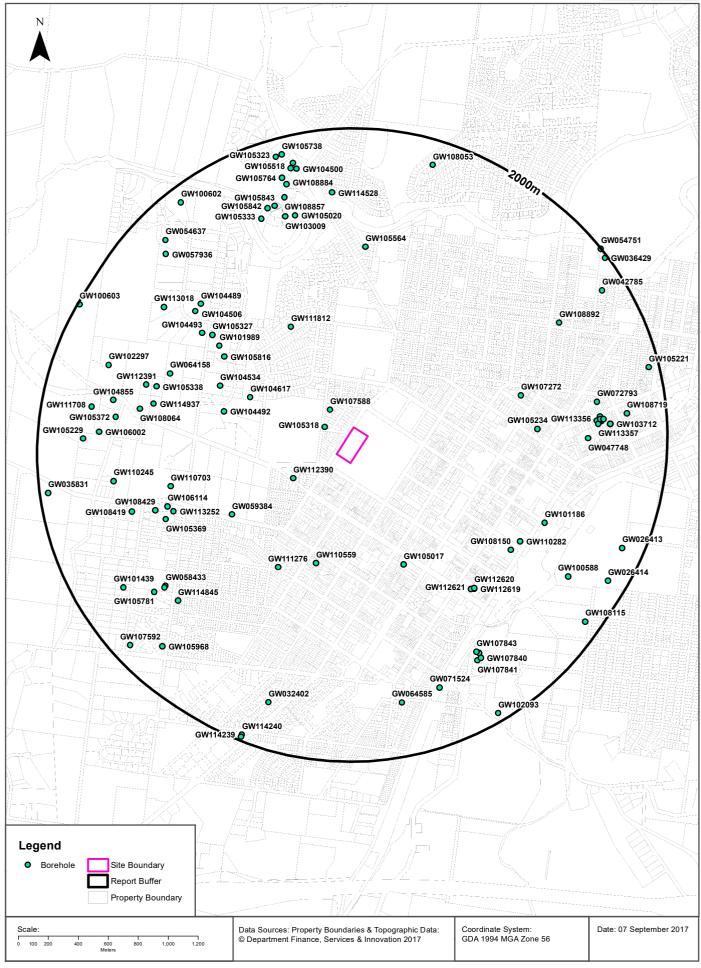




Groundwater Boreholes

85 Deccan Street, Goulburn, NSW 2580





Hydrogeology & Groundwater

85 Deccan Street, Goulburn, NSW 2580

Hydrogeology

Description of aquifers on-site:

Description

Fractured or fissured, extensive aquifers of low to moderate productivity

Description of aquifers within the dataset buffer:

Description

Fractured or fissured, extensive aquifers of low to moderate productivity

Hydrogeology Map of Australia : Commonwealth of Australia (Geoscience Australia)
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Groundwater Boreholes

Boreholes within the dataset buffer:

| GW No. | Licence No | Work Type | Owner Type | Purpose | Contractor | Complete Date | Final Depth | Drilled Depth | Salinity | SWL | Yield | Elev | Dist | Dir |
|----------|--|------------------------------|---------------|--------------------|------------------------------------|------------------|----------------|------------------|----------|-----------|-------|------|-------|---------------|
| GW105318 | 10BL161570, 10WA115378 | Bore | | Domestic | Watermin Drillers Pty Ltd | 25/03/2003 | 67.00 | | | 15.0 0 | 0.440 | | 163m | North West |
| GW107588 | 10BL165677, 10WA115628 | Bore | Private | Domestic | Bungendore Water Bores | 27/10/2005 | 54.00 | 54.00 | | 14.0 0 | 1.750 | | 195m | North West |
| GW112390 | 10WA118626 | Bore | Private | Domestic | | 12/03/2013 | 120.00 | 120.00 | | 4.00 | 0.125 | | 330m | South West |
| GW104617 | 10BL161052, 10WA115337 | Bore | Private | Domestic | Bungendore Water Bores | 18/02/2003 | 90.00 | 90.00 | | 33.0 0 | 0.688 | | 690m | North West |
| GW110559 | 10BL602986, 10WA115789 | Bore | Private | Domestic | Ultra Drilling | 02/09/2009 | 78.00 | | 700 | 9.00 | 1.000 | | 710m | South |
| GW105017 | 10BL161668, 10BL162517 | Bore | Private | Industrial | Watermin Drillers Pty Ltd | 26/03/2003 | 61.00 | 61.00 | | | 0.250 | | 768m | South East |
| GW111812 | 10BL601052, 10WA115688 | Bore | Private | Domestic | ULTRADRILL ING | 05/02/2007 | 78.00 | 78.00 | 1800 | 15.0 0 | 0.700 | | 790m | North West |
| GW104492 | 10BL160984, 10WA115334 | Bore | Private | Domestic, Stock | Highland Drilling Pty Ltd | 28/10/2002 | 97.00 | 97.00 | 270 | 11.0 0 | 0.170 | | 803m | West |
| GW059384 | 10BL127805, 10CA115968 | Bore open thru rock | Private | Irrigation | | 01/03/1983 | 61.00 | 61.00 | Good | | | | 807m | South West |
| GW111276 | 10BL604274, 10WA115949 | Bore | Private | Domestic, Stock | Watermin Drillers Pty Ltd | 10/12/2010 | 62.00 | 62.00 | | 7.00 | | | 849m | South West |
| GW104534 | 10BL160711, 10WA115313 | Bore | Private | Domestic, Stock | Bungendore Water Bores | 13/04/2002 | 66.00 | 66.00 | | 22.0 0 | 2.500 | | 901m | North West |
| GW105816 | 10BL161462, 10WA115373 | Bore | Private | Domestic | Ultra Drilling | 14/01/2004 | 66.00 | 66.00 | | | 0.900 | | 981m | North West |
| GW101989 | 10BL158615, 10WA115205 | Bore | | Domestic | Southern Tablelands Drilling | 15/04/1998 | 48.00 | 48.00 | 31 | | | | 1048m | North West |
| GW107272 | 10BL163312, 10WA115488 | Bore | Private | Domestic | Slade Drilling | 10/06/2004 | 54.00 | 54.00 | | 10.0 | 0.500 | | 1060m | East |
| GW105327 | 10BL161633, 10WA115387 | Bore | | Domestic | Ultra Drilling | 15/04/2003 | 42.00 | 42.00 | 164 | | 0.900 | | 1126m | North West |
| GW110703 | 10BL602375, 10BL604353, 10WA116172 | Bore | Private | Recreation | Bungendore Water Bores | 11/12/2009 | 84.00 | 84.00 | Fresh | 33.0 0 | 0.250 | | 1127m | West |

| GW No. | Licence No | Work Type | Owner Type | Purpose | Contractor | Complete Date | Final Depth | Drilled Depth | Salinity | SWL | Yield | Elev | Dist | Dir |
|----------|--|----------------------|---------------|--------------------|--|------------------|----------------|------------------|----------------------|-----------|-------|------|-------|---------------|
| GW105234 | 10BL160968 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 29/11/2002 | 107.00 | | | | | | 1135m | East |
| GW113252 | 10BL604130, 10WA115928 | Bore | Private | Domestic | Bungendore Water Bores | 01/01/2010 | 84.00 | 84.00 | | | 0.300 | | 1152m | West |
| GW112621 | 10BL603269 | Bore | Private | Monitoring | Numac Drilling Services | 19/02/2010 | 9.00 | 9.00 | | | | | 1167m | South East |
| GW112620 | 10BL603269 | Bore | Private | Monitoring | Numac Drilling Services | 19/02/2010 | 9.00 | 9.00 | | | | | 1178m | South East |
| GW112619 | 10BL603269 | Bore | Private | Monitoring | Numac Drilling Services | 19/02/2010 | 9.00 | 9.00 | | 4.80 | | | 1182m | South East |
| GW106114 | 10BL162848, 10WA115461 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 18/05/2004 | 80.00 | 81.00 | | | 0.063 | | 1182m | West |
| GW104493 | 10BL160602, 10WA115301 | Bore | Private | Domestic, Stock | Highland Drilling Pty Ltd | 20/03/2002 | 26.00 | 26.00 | 240 | 14.0 0 | 1.000 | | 1192m | North West |
| GW105564 | 10BL162096, 10WA115426 | Bore | | Domestic | Bungendore Water Bores | 07/11/2003 | 108.00 | 108.00 | 900 | 16.0 0 | 0.075 | | 1209m | North |
| GW108150 | 10BL600166, 10BL600405, 10CA116074 | Bore | | Recreation | Bungendore Water Bores | 29/04/2006 | 55.00 | 55.00 | | 3.50 | 1.500 | | 1216m | South East |
| GW105369 | 10BL160523 | Bore | | Domestic | Bungendore Water Bores | 18/03/2003 | 60.00 | 60.00 | | 30.0 | 1.000 | | 1220m | West |
| GW064158 | | Bore | Private | Domestic, Stock | | 01/04/1987 | 47.20 | 47.20 | Good | | | | 1235m | West |
| GW110282 | 10BL601959 | Bore | Private | Test Bore | Bungendore Water Bores | 06/09/2007 | 84.00 | 84.00 | | 4.00 | 0.625 | | 1237m | South East |
| GW114937 | 10WA118893 | Bore | Private | Domestic, Stock | Watermin Drillers Pty Ltd | 11/03/2014 | 94.00 | 94.00 | | 20.0 | 1.140 | | 1266m | West |
| GW108429 | 10BL600907, 10WA115678 | Bore | Private | Domestic, Stock | Watermin Drillers Pty Ltd | 24/11/2006 | 57.00 | 57.00 | | 40.0 0 | 0.631 | | 1267m | West |
| GW105338 | 10BL161859, 10BL603052, 10WA115792 | Bore | | Domestic, Stock | Ultra Drilling | 19/05/2003 | 30.00 | 30.00 | Good | | 1.500 | | 1283m | West |
| GW104506 | 10BL160456, 10WA115290 | Bore | Private | Domestic, Stock | Highland Drilling Pty Ltd | 19/03/2002 | 104.00 | 104.00 | 360 | 24.0 0 | 0.250 | | 1311m | North West |
| GW104489 | 10BL160855, 10WA115326 | Bore | Private | Domestic | Highland Drilling Pty Ltd | 24/10/2002 | 97.00 | 97.00 | 80 | 23.0 | 0.165 | | 1312m | North West |
| GW101186 | 10BL157165, 10WA115976 | Bore | Private | Recreation | Southern Tablelands Drilling | 26/10/1997 | 91.00 | 91.00 | 522 | 6.00 | 10.00 | | 1318m | East |
| GW108064 | 10BL165315, 10WA115601 | Bore | Private | Domestic, Stock | Watermin Drillers Pty Ltd | 24/04/2006 | 41.00 | 41.00 | | 12.0 0 | 1.009 | | 1347m | West |
| GW112391 | 10WA117823 | Bore | Private | Domestic | | 02/12/2012 | 40.00 | 40.00 | | 13.0 0 | 1.263 | | 1353m | West |
| GW108419 | 10BL600814, 10WA115673 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 22/11/2006 | 81.00 | 81.00 | | | | | 1420m | West |
| GW114845 | 10WA118958 | Bore | Private | Domestic | Bungendore Water Bores | 30/04/2014 | 42.00 | 42.00 | | 28.0 0 | 0.500 | | 1442m | South West |
| GW058433 | 10BL128156, 10WA114991 | Bore open thru | Private | General Use | | 01/08/1983 | 48.70 | 48.70 | 1001- 3000 ppm | | | | 1443m | South West |
| GW110424 | 10BL603008, 10WA115790 | rock Bore | Private | Domestic | Bungendore Water Bores | 17/04/2009 | 84.00 | 84.00 | | 35.0 0 | 0.313 | | 1454m | South West |
| GW105020 | 10BL160577, 10WA115298 | Bore | Private | Domestic | Engineering Explorations Pty Ltd | 04/12/2001 | 9.00 | 9.00 | 700 | | 5.000 | | 1469m | |
| GW047748 | 10BL112567, 10WA116006 | Bore | Private | Recreation | , = | 01/04/1980 | 15.20 | 15.20 | Fair | | | | 1470m | East |
| GW103009 | 10BL159687, 10WA115251 | Bore | | Domestic | Bungendore Water Bores | 22/05/2000 | 42.00 | 42.00 | Fair | | | | 1481m | North |
| GW108892 | 10BL164295, 10WA115540 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 02/06/2008 | 55.00 | | | | | | 1486m | North East |
| GW105372 | 10BL160851, 10WA115325 | Bore | | Domestic, Stock | Bungendore Water Bores | 20/02/2003 | 54.00 | 54.00 | Fair | 18.0 | 0.250 | | 1494m | West |

| GW No. | Licence No | Work Type | Owner Type | Purpose | Contractor | Complete Date | Final Depth | Drilled Depth | Salinity | SWL | Yield | Elev | Dist | Dir |
|----------|---------------------------|--------------|---------------|--------------------|---------------------------------|------------------|----------------|------------------|----------|-----------|-------|------------|-------|---------------|
| GW110245 | 10BL600906, 10WA115677 | Bore | Private | Domestic | Bungendore Water Bores | 18/02/2009 | 78.00 | 78.00 | | 20.0 | 0.188 | | 1499m | West |
| GW113018 | 10BL601581, 10WA115712 | Bore | Private | Domestic | Highland Drilling | 01/06/2007 | 72.00 | 72.00 | 0.74 | 34.0 0 | 0.300 | | 1500m | North West |
| GW107843 | 10BL165495 | Bore | | Monitoring | Macquarie Drilling | 27/04/2004 | 7.50 | 7.50 | | 5.00 | | | 1518m | South East |
| GW105333 | 10BL161302, 10WA115358 | Bore | | Domestic | Ultra Drilling | 28/05/2003 | 24.00 | 24.00 | 800 | | 2.200 | | 1525m | North |
| GW105781 | 10BL162433, 10WA115440 | Bore | | | | 21/04/2005 | | | | | | | 1527m | South West |
| GW104855 | 10BL160548, 10WA115294 | Bore | Private | Domestic | Bungendore Water Bores | 16/02/2003 | 48.00 | 48.00 | | 31.0 0 | 1.642 | | 1533m | West |
| GW113356 | 10BL602399 | Bore | Private | Monitoring | Macquarie Drilling | 18/10/2006 | 9.50 | 9.50 | | | | | 1533m | East |
| GW107842 | 10BL165495 | Bore | | Monitoring | Macquarie Drilling | 27/04/2004 | 7.50 | 7.50 | | 5.00 | | | 1537m | South East |
| GW113357 | 10BL602399 | Bore | Private | Monitoring | Macquarie Drilling | 18/10/2006 | 7.20 | 7.20 | | | | | 1542m | East |
| GW072793 | | Bore | Private | Domestic | | 17/01/1995 | 24.40 | 24.40 | Good | | | | 1548m | East |
| GW105653 | 10BL161284 | Bore | Private | Monitoring | | 19/11/2002 | 7.90 | 7.90 | | 6.60 | | | 1554m | East |
| GW105655 | 10BL161284 | Bore | Private | Monitoring | | 19/11/2002 | 8.00 | 8.00 | | 6.10 | | | 1556m | East |
| GW113358 | 10BL602399 | Bore | Private | Monitoring | Macquarie Drilling | 17/10/2006 | 8.40 | 8.40 | | | | | 1557m | East |
| GW113359 | 10BL602399 | Bore | Private | Monitoring | Macquarie Drilling | 17/02/2006 | 8.70 | 8.70 | | | | | 1563m | East |
| GW105654 | 10BL161284 | Bore | Private | Monitoring | | 19/11/2002 | 7.80 | 7.80 | | 6.50 | | | 1565m | East |
| GW107840 | 10BL165495 | Spear | Private | Monitoring | Macquarie Drilling | 22/04/2004 | 7.00 | 7.50 | | 5.00 | | | 1570m | South East |
| GW107841 | 10BL165495 | Bore | | Monitoring | Macquarie Drilling | 28/04/2004 | 5.00 | 5.00 | | 1.40 | | | 1571m | South East |
| GW105843 | 10BL161895, 10WA115412 | Bore | | | | 29/04/2005 | | | | | | | 1571m | North |
| GW105842 | 10BL161896, 10WA115413 | Bore | | | | 29/04/2005 | | | | | | | 1574m | North |
| GW114528 | 10WA118808 | Bore | Private | Domestic | Bungendore Water Bores | 27/11/2013 | 66.00 | 66.00 | Fresh | 30.0 0 | 0.625 | | 1576m | North |
| GW113360 | 10BL602399 | Bore | Private | Monitoring | Macquarie Drilling | 17/10/2006 | 9.00 | 9.00 | | | | | 1579m | East |
| GW106002 | 10BL160603, 10WA115302 | Bore | Private | Domestic | Bungendore Water Bores | 18/04/2003 | 60.00 | 60.00 | Fresh | 30.0 0 | 1.188 | | 1592m | West |
| GW108857 | 10BL162579, 10WA115448 | Bore | Private | Domestic | Central West Water Drillers | 13/01/2004 | 72.00 | 72.00 | | 36.0 0 | 0.950 | | 1606m | North |
| GW071524 | 10BL150186 | Bore | Private | Monitoring | Powerbond | 15/04/1992 | 6.50 | 6.50 | | 5.30 | | 624.0 0 | 1619m | South |
| GW103710 | 10BL160100 | Bore | | Monitoring | | 23/11/2000 | 7.40 | 7.40 | | | | | 1621m | East |
| GW103709 | 10BL160100 | Bore | | Monitoring | | 23/11/2000 | 7.10 | 7.10 | | | | | 1621m | East |
| GW103712 | 10BL160100 | Bore | | Monitoring | | 23/11/2000 | 8.50 | 8.50 | | | | | 1621m | East |
| GW103711 | 10BL160100 | Bore | | Monitoring | | 23/11/2000 | 8.50 | 8.50 | | | | | 1621m | East |
| GW102297 | 10BL158895, 10WA115215 | Bore | Private | Domestic, Stock | Watermin Drillers Pty Ltd | 20/11/1998 | 92.00 | 92.00 | Good | 60.0 | 0.880 | | 1634m | West |
| GW100588 | 10BL152995, 10CA115988 | Bore | | Recreation | Bungendore Water Bores | 31/12/1995 | 54.00 | | | | 9.000 | | 1635m | South East |
| GW064585 | 10BL137238, 10WA115038 | Bore | Private | Domestic, Stock | | 01/12/1987 | 15.80 | 15.80 | | | | | 1642m | South |
| GW111708 | 10BL162799, 10WA115458 | Bore | Private | Domestic | Bungendore Water Bores | 15/06/2004 | 60.00 | 60.00 | | 31.0 0 | 0.375 | | 1665m | West |
| GW101439 | 10BL157933, 10WA115183 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 03/03/1997 | 94.50 | 94.50 | | 54.8 0 | 0.260 | | 1678m | South West |
| GW108884 | 10BL164809, 10WA115560 | Bore | Private | Domestic | Central West Water Drillers | 30/05/2008 | 54.00 | | Good | 28.0 | 0.137 | | 1685m | North |
| GW105229 | 10BL160861, 10WA115327 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 06/03/2003 | 61.00 | 61.00 | | 15.0 0 | 0.506 | | 1694m | West |

| GW No. | Licence No | Work Type | Owner Type | Purpose | Contractor | Complete Date | Final Depth | Drilled Depth | Salinity | SWL | Yield | Elev | Dist | Dir |
|----------|--|------------------------------|---------------|-------------------------|------------------------------------|------------------|----------------|------------------|----------------------|-----------|-------|------|-------|---------------|
| GW032402 | 40BL024921 | Bore | Private | Stock | | | 243.80 | | 1001- 3000 ppm | | | | 1694m | South |
| GW057936 | 10BL161661, 10CA116058 | Bore | Private | Domestic, Irrigation | | 01/08/1983 | 91.40 | 91.40 | Good | | | | 1707m | North West |
| GW105968 | 10BL162730, 10WA115452 | Bore | Private | Domestic, Stock | Southern Tablelands Drilling | 12/03/2004 | 42.00 | 42.00 | | 19.0 0 | 1.400 | | 1733m | South West |
| GW105764 | 10BL162578, 10WA115447 | Bore | Private | Domestic | Central West Water Drillers | 18/11/2003 | 42.00 | 42.00 | | 15.0 0 | 2.250 | | 1736m | North |
| GW108719 | 10BL601592, 10WA115714 | Bore | Private | Domestic | Bungendore Water Bores | 27/03/2008 | 30.00 | | | 9.00 | 0.750 | | 1737m | East |
| GW104500 | 10BL159923, 10WA115262 | Bore | Private | Domestic | Bungendore Water Bores | 22/11/2000 | 30.00 | 30.00 | | 9.50 | 2.650 | | 1769m | North |
| GW054637 | 10BL116986, 10WA114971 | Bore open thru rock | Private | General Use | | 01/12/1980 | 37.20 | 37.20 | 501- 1000 ppm | | | | 1773m | North West |
| GW105518 | 10BL162121, 10WA115428 | Bore | | Domestic | Watermin Drillers Pty Ltd | 07/11/2003 | 38.00 | 38.00 | | | 0.189 | | 1783m | North |
| GW110447 | 10BL602741, 10WA115769 | Bore | Private | Domestic, Stock | Ultra Drilling | 24/10/2008 | 30.00 | 30.00 | | | 2.000 | | 1812m | North |
| GW108053 | 10BL600331, 10WA115658 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 27/05/2006 | 32.00 | 32.00 | | | 0.379 | | 1831m | North |
| GW042785 | 10BL105432, 10WA116008 | Bore open thru rock | Private | Recreation | | 01/09/1976 | 43.20 | 43.30 | 1001- 3000 ppm | | | | 1844m | North East |
| GW026413 | 10BL017186 | Bore | Private | Recreation | | 01/05/1966 | 17.70 | 17.70 | | | | | 1856m | East |
| GW026414 | 10BL017185, 10CA115988 | Bore | Private | Recreation | | 01/05/1966 | 20.10 | 20.10 | | | | | 1873m | South East |
| GW107592 | 10BL162207, 10WA115433 | Bore | Private | Domestic | Bungendore Water Bores | 14/04/2004 | 120.00 | 120.00 | | 39.0 0 | 0.138 | | 1879m | South West |
| GW105323 | 10BL161634, 10WA115388 | Bore | | Domestic | Ultra Drilling | 14/04/2003 | 30.00 | 30.00 | 1000 | | 3.000 | | 1881m | North |
| GW105738 | 10BL162258, 10WA115435 | Bore | Private | Domestic, Stock | Central West Water Drillers | 17/11/2003 | 36.00 | 36.00 | | 15.0 0 | 4.375 | | 1886m | North |
| GW108115 | 10BL164528, 10BL600181, 10WA116072 | Bore | | Recreation | Watermin Drillers Pty Ltd | 25/10/2004 | 81.00 | 81.00 | | | 0.025 | | 1894m | South East |
| GW100602 | 10BL158076, 10WA115189 | Bore | Private | Domestic, Stock | Ultra Drilling | 09/07/1997 | 91.50 | 91.50 | Good | 15.0 0 | 0.620 | | 1896m | North West |
| GW105221 | 10BL161202, 10WA115349 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 05/03/2003 | 53.00 | 53.00 | | 12.0 0 | 0.151 | | 1932m | East |
| GW035831 | 10BL029223, 10WA114880 | Bore open thru rock | Private | Domestic, Stock | | 01/07/1973 | 42.90 | 43.00 | | | | | 1943m | West |
| GW102093 | 10BL157876, 10WA115177 | Bore | Private | Domestic | Watermin Drillers Pty Ltd | 02/02/1997 | 27.40 | 27.40 | Good | 0.60 | 1.260 | | 1945m | South East |
| GW114240 | 10BL602058 | Bore | Private | Monitoring | Macquarie Drilling | 10/08/2011 | 9.50 | 9.50 | | | | | 1959m | South |
| GW114239 | 10BL602058 | Bore | Private | Monitoring | Macquarie Drilling | 10/08/2011 | 10.30 | 10.30 | | | | | 1974m | South |
| GW036429 | | Bore | Local Govt | GW Exploration | | 01/03/1981 | 0.00 | 18.00 | | | | | 1982m | North East |
| GW100603 | 10BL158078, 10WA115190 | Bore | Private | Domestic, Stock | Bungendore Water Bores | 11/07/1997 | 55.00 | 55.00 | | 14.0 0 | 1.250 | | 1986m | North West |
| GW054751 | 10BL117170 | Bore | Local Govt | Municiple | | 01/11/1980 | 100.60 | 100.60 | Good | | | | 1998m | North East |

Borehole Data Source: NSW Department of Primary Industries - Office of Water / Water Administration Ministerial Corporation for all bores prefixed with GW. All other bores © Commonwealth of Australia (Bureau of Meteorology) 2015. Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Hydrogeology & Groundwater

85 Deccan Street, Goulburn, NSW 2580

Driller's Logs

Drill log data relevant to the boreholes within the dataset buffer:

| Groundwater No | Drillers Log | Distance | Direction |
|----------------|--|----------|---------------|
| GW107588 | 0.00m-2.00m soil, brown clay 2.00m-7.00m shale, soft brown 7.00m-13.00m shale, grey soft 13.00m-54.00m shale, grey/blue volcanics | 195m | North West |
| GW112390 | 0.00m-0.20m TOPSOIL 0.20m-3.00m FILL GREY CLAYS 3.00m-12.00m VOLCANICS BROWN WEATHERED 12.00m-120.00m VOLCANICS GREY ,BLACK | 330m | South West |
| GW104617 | 0.00m-6.00m SOIL/WEATHERED CLAY 6.00m-30.00m BROWN SOFT SHALE 30.00m-90.00m GREY BLUE VOLCANICS | 690m | North West |
| GW110559 | 0.00m-2.00m CLAY RED 2.00m-16.00m SHALE (YELLOW) 16.00m-78.00m SHALE / SILTSTONE | 710m | South |
| GW105017 | 0.00m-1.00m TOPSOIL/CLAY 1.00m-3.00m BROWN SHALE 3.00m-17.00m YELLOW SHALE 17.00m-20.00m GREY/GREEN SHALE 20.00m-61.00m BLACK SHALE | 768m | South East |
| GW111812 | 0.00m-21.00m SHALE 21.00m-78.00m BASALT | 790m | North West |
| GW104492 | 0.00m-1.00m TOPSOIL 1.00m-97.00m BASALT | 803m | West |
| GW059384 | 0.00m-0.60m Topsoil 0.60m-16.10m Clay 16.10m-45.10m Shale Water Supply 45.10m-61.00m Granite Water Supply | 807m | South West |
| GW111276 | 0.00m-1.00m TOPSOIL 1.00m-3.00m CLAY 3.00m-19.00m SHALE SOFT 19.00m-35.00m SHALE GREY 35.00m-56.00m SHALE BROKEN 56.00m-62.00m SHALE HARD | 849m | South West |
| GW104534 | 0.00m-1.50m SOIL/CLAYS 1.50m-15.00m CLAYS/BROWN 15.00m-66.00m CLAYS | 901m | North West |
| GW105816 | 0.00m-28.00m shale 28.00m-34.00m granite 34.00m-66.00m basalt | 981m | North West |
| GW101989 | 0.00m-9.00m Yellow Sand 9.00m-36.00m Blue Shale 36.00m-43.00m Black Shale 43.00m-48.00m Blue Shale | 1048m | North West |
| GW107272 | 0.00m-11.00m clay 11.00m-24.00m shale 24.00m-54.00m basalt | 1060m | East |
| GW105327 | 0.00m-1.00m SOIL 1.00m-3.00m CLAY 3.00m-42.00m SHALE | 1126m | North West |
| GW110703 | 0.00m-3.00m SHALE LIGHT BROWN 3.00m-28.00m BROWN SHALES SEDIMENT 28.00m-80.00m GREY BLACK SHALE VOLCANIC 80.00m-84.00m HARD BLACK VOLCANIC | 1127m | West |
| GW105234 | 0.00m-0.50m TOPSOIL 0.50m-4.00m BROWN CLAY 4.00m-6.00m GRAVEL 6.00m-8.00m BROWN CLAY 8.00m-8.50m DECOMPOSED GRANITE 8.50m-107.00m GRANITE | 1135m | East |

| Groundwater No | Drillers Log | Distance | Direction |
|----------------|--|----------|---------------|
| GW112621 | 0.00m-0.10m CONCRETE 0.10m-1.10m FILL, DENSE, DRY,GREY,BROWN 1.10m-3.40m CLAY,FIRM,MOIST,BROWN 3.40m-9.00m CLAY,SOFT,FIRM,MOIST,WET,BROWN | 1167m | South East |
| GW112620 | 0.00m-0.10m CONCRETE 0.10m-2.00m FILL, DENSE, DRY/BROWN/GREY 2.00m-4.40m CLAY, FIRM, DRY, BROWN/RED 4.40m-7.50m CLAY FIRM, MOIST, M/PLASTICITY 7.50m-9.00m CLAY, SOFT, WET, H/PLASTICITY, BROWN | 1178m | South East |
| GW106114 | 0.00m-1.00m topsoil 1.00m-56.00m shale, soft 56.00m-81.00m shale, hard | 1182m | West |
| GW112619 | 0.00m-0.10m CONCRETE 0.10m-2.00m FILL,DENSE,DRY,GREY/BROWN 2.00m-4.00m CLAY WITH MINOR SAND M/GRAIN,FIRM,DRY 4.00m-9.00m CLAY ,MINOR SAND,M/GRAIN.FIRM,.WET | 1182m | South East |
| GW104493 | 0.00m-1.00m TOPSOIL 1.00m-26.00m FRACTURED BASALT | 1192m | North West |
| GW105564 | 0.00m-2.00m SOIL/CLAYS 2.00m-9.00m WEATHERED VOLCANICS 9.00m-108.00m FRACTURED GREY VOLCANICS | 1209m | North |
| GW108150 | 0.00m-1.00m SOIL, LOAM 1.00m-6.00m CLAY,BROWN AND STICKY 6.00m-10.00m GRAVELS COARSE 10.00m-55.00m SILTSTONES BLACK SHALES | 1216m | South East |
| GW105369 | 0.00m-1.00m SOIL,CLAY 1.00m-18.00m SOFT VOLCANICS 18.00m-60.00m HARD BLUE BLACK VOLCANICS | 1220m | West |
| GW064158 | 0.00m-0.30m Topsoil 0.30m-15.20m Shale 15.20m-47.20m Basalt Water Supply | 1235m | West |
| GW110282 | 0.00m-2.00m SOIL BLACK 2.00m-6.00m CLAY BROWN 6.00m-12.00m SAND AND GRAVEL 12.00m-24.00m SHALE,SILSTSTONE,L/GREY 24.00m-84.00m SILTSTONE DARK GREY,VOLCANICS | 1237m | South East |
| GW114937 | 0.00m-1.00m TOPSOIL 1.00m-2.00m CLAY 2.00m-75.00m SHALE SOFT 75.00m-75.50m SHALE SOFT WATER SUPPLY 75.50m-87.00m SHALE SOFT 87.00m-88.00m SHALE SOFT WATER SUPPLY 88.00m-94.00m SHALE SOFT | 1266m | West |
| GW108429 | 0.00m-1.00m topsoil 1.00m-6.00m clay 6.00m-44.00m shale, soft 44.00m-57.00m shale, hard | 1267m | West |
| GW105338 | 0.00m-2.00m CLAY/SHALE 2.00m-30.00m SHALE | 1283m | West |
| GW104506 | 0.00m-1.00m TOPSOIL 1.00m-30.00m DECOMPOSED/FRACTURED BASALT 30.00m-78.00m FRACTURED BASALT 78.00m-104.00m BASALT | 1311m | North West |
| GW104489 | 0.00m-20.00m GRANITE SOFT 20.00m-97.00m GRANITE HARD | 1312m | North West |
| GW101186 | 0.00m-1.00m carpark fill 1.00m-11.00m red clay river gravel 11.00m-12.00m river gravel 12.00m-28.00m highly fractured to decomposing granite 28.00m-42.00m fractured green granite 42.00m-91.00m green granite with slight fractures | 1318m | East |
| GW108064 | 0.00m-1.00m topsoil 1.00m-2.00m clay 2.00m-25.00m shale 25.00m-41.00m basalt | 1347m | West |
| GW112391 | 0.00m-1.00m TOPSOIL 1.00m-2.00m CLAY 2.00m-10.00m SHALE YELLOW 10.00m-16.00m SHALE GREY 16.00m-16.10m SHALE GREY WATER SUPPLY 16.10m-22.00m SHALE GREY 22.00m-22.50m SHALE GREY WATER SUPPLY 22.50m-26.00m SHALE GREY 26.00m-26.50m SHALE BLACK WATER SUPPLY 26.50m-40.00m SHALE BLACK | 1353m | West |

| Groundwater No | Drillers Log | Distance | Direction |
|----------------|--|----------|---------------|
| GW108419 | 0.00m-1.00m Topsoil 1.00m-4.00m Clay 4.00m-37.00m Shale, soft 37.00m-50.00m Shale, hard 50.00m-81.00m Basalt | 1420m | West |
| GW114845 | 0.00m-3.00m SOIL RED CLAY 3.00m-21.00m LIMESTONE WEATHERED BROWN 21.00m-42.00m LIMESTONE FRACTURED GREY TO BROWN | 1442m | South West |
| GW058433 | 0.00m-0.30m Topsoil 0.30m-8.50m Clay 8.50m-26.80m Shale Soft 26.80m-44.50m Shale Hard Water Supply 44.50m-46.30m Basalt Broken Clay Bands 46.30m-48.70m Basalt | 1443m | South West |
| GW110424 | 0.00m-4.00m SOIL RED CLAY 4.00m-16.00m VOLCANIC LIGHT BROWN 16.00m-50.00m BROWN CLAYS VOLCANIC 50.00m-84.00m VOLCANIC GREY,BLACK,FRACTURED | 1454m | South West |
| GW105020 | 0.00m-1.00m FILL 1.00m-9.00m SAND | 1469m | North |
| GW047748 | 0.00m-0.60m Soil 0.60m-3.00m Clay 3.00m-12.00m Gravel River Water Supply 12.00m-15.24m Granite | 1470m | East |
| GW103009 | 0.00m-0.30m TOPSOIL 0.30m-4.50m CLAYS 4.50m-12.00m GRAVEL DECOMPOSED 12.00m-42.00m BLACK VULCANIC FRACTURED | 1481m | North |
| GW108892 | 0.00m-1.00m TOPSOIL 1.00m-9.00m CLAY 9.00m-16.00m SOFT SHALE 16.00m-49.00m SHALE 49.00m-55.00m BROKEN BASALT | 1486m | North East |
| GW105372 | 0.00m-2.50m SOIL/CLAY 2.50m-13.00m SOFT VOLCANICS 13.00m-49.00m GREY BLUE VOLCANICS 49.00m-54.00m HARD GRANITE | 1494m | West |
| GW110245 | 0.00m-2.00m SOIL BROWN CLAY 2.00m-12.00m SOFT BROWNVOLCANIC 12.00m-78.00m VOLCANIC | 1499m | West |
| GW113018 | 0.00m-6.00m CLAYSTONE 6.00m-30.00m SANDSTONE 30.00m-72.00m GRANITE , BASALT | 1500m | North West |
| GW107843 | 0.00m-0.20m CONCRETE 0.20m-2.50m FILL 2.50m-7.50m CLAY | 1518m | South East |
| GW105333 | 0.00m-2.00m CLAY 2.00m-7.00m QUARTZ/CLAY 7.00m-24.00m SHALE | 1525m | North |
| GW104855 | 0.00m-0.30m SOIL 0.30m-5.00m CLAY:LOAMY,STICKY,BROWN 5.00m-26.00m DECOMPOSED YELLOW BROWN VOLCANICS 26.00m-35.00m GREY SOFT VOLCANICS 35.00m-48.00m BLUE FRACTURED VOLCANICS | 1533m | West |
| GW107842 | 0.00m-0.20m CONCRETE 0.20m-1.50m FILL 1.50m-7.50m CLAY | 1537m | South East |
| GW072793 | 0.00m-0.30m Topsoil 0.30m-6.10m Clay Weathered Rock 6.10m-24.40m Hard Weathered Rock | 1548m | East |
| GW105653 | 0.00m-0.10m TOPSOIL, SILTY CLAY 0.10m-1.00m CLAY, SILTY DRY, GRAVELLY,LOOSE 1.00m-2.00m CLAY, BROWN, MOIST, FIRM 2.00m-3.00m CLAY, GREY, MOIST, FIRM 3.00m-4.30m CLAY, SILTY, GREY, DAMP, STIFF 4.30m-6.00m CLAY, GRAVELS, VERY STIFF, MOIST 6.00m-7.00m CLAY, GRAVELLY, WET, BROWN 7.00m-7.90m AS ABOVE | 1554m | East |

| Groundwater No | Drillers Log | Distance | Direction |
|----------------|---|----------|---------------|
| GW105655 | 0.00m-2.50m clay, brown, moderate plasticity 2.50m-4.00m clay, silty, firm, grey 4.00m-4.10m as above 4.10m-7.00m clay, gravel, non plastic 7.00m-8.00m as above, but wet gravel | 1556m | East |
| GW105654 | 0.00m-2.50m CLAY, SILTY, BROWN, MOSIT, FIRM 2.50m-3.80m AS ABOVE BUT STIFF, MODERATE PLASTICITY 3.80m-4.20m CLAY, SILTY, BERY STIFF, NON PLASTIC 4.20m-7.00m CLAY, GRAVEL, NON PLASTIC 7.00m-7.80m SAME AS ABOVE, WET | 1565m | East |
| GW107840 | 0.00m-0.10m BITUMEN 0.10m-2.50m FILL 2.50m-7.50m CLAY | 1570m | South East |
| GW107841 | 0.00m-1.00m SILT 1.00m-5.00m CLAY | 1571m | South East |
| GW114528 | 0.00m-1.00m RED CLAY 1.00m-7.00m VOLCANIC WEATHERED 7.00m-21.00m VOLCANIC GREY 21.00m-66.00m LIMESTONE GREY/BLACK | 1576m | North |
| GW106002 | 0.00m-1.00m soil, clay 1.00m-18.00m volcanic, soft 18.00m-60.00m volcanic, hard black | 1592m | West |
| GW108857 | 0.00m-4.00m clay, brown 4.00m-12.00m baslat, brown 12.00m-31.00m granite, grey 31.00m-39.00m shales, black 39.00m-54.00m basalt 54.00m-72.00m shales, black | 1606m | North |
| GW071524 | 0.00m-0.50m Silt, sandy, orange brown 0.50m-6.50m Silty, clayey, mottled | 1619m | South |
| GW103709 | 0.00m-0.70m FILL 0.70m-1.20m CLAY LOAM 1.20m-2.00m MEDIUM CLAY,ORANGE 2.00m-4.00m MEDIUM CLAY,ORANGE,VERY FIRM 4.00m-4.60m CLAYEY SAND 4.60m-5.00m BOULDER LARGE 5.00m-5.80m CLAYEY SAND/SANDY CLAY 5.80m-6.00m BOULDER LARGE 6.00m-7.10m CLAYEY SAND/SANDY CLAY,ORANGE | 1621m | East |
| GW103710 | 0.00m-0.40m BITUMEN/FILL 0.40m-1.80m MEDIUM CLAY,ORANGE 1.80m-3.70m MEDIUM CLAY/ORANGE/BROWN 3.70m-4.40m MEDIUM CLAY:ORANGE/BROWN/MOIST 4.40m-7.40m CLAYEY SAND:ORANGE/BROWN/MOIST | 1621m | East |
| GW103711 | 0.00m-0.10m FILL: BITUMEN 0.10m-0.60m CLAY LOAM 0.60m-1.20m MEDIUM CLAY 1.20m-4.00m MEDIUM CLAY:ORANGE 4.00m-8.50m CLAYEY SAND/SANDY CLAY:ORANGE | 1621m | East |
| GW103712 | 0.00m-0.10m CONCRETE 0.10m-0.30m FILL 0.30m-0.70m CLAY LOAM 0.70m-1.40m LIGHT CLAY:ORANGE 1.40m-2.80m MEDIUM CLAY,RED AND GREY 2.80m-4.00m MEDIUM CLAY, BROWN AND GREY 4.00m-8.50m CLAYEY SAND/SANDY CLAY | 1621m | East |
| GW102297 | 0.00m-3.00m Red Clay 3.00m-55.00m Broken Basalt 55.00m-92.00m Hard Limestone | 1634m | West |
| GW064585 | 0.00m-0.60m Topsoil 0.60m-5.50m Clay 5.50m-9.70m Gravel Water Supply 9.70m-15.80m Shale Hard Water Supply | 1642m | South |
| GW111708 | 0.00m-4.00m SOIL, LOAMY CLAY 4.00m-19.00m VOLCANIC SOFT 19.00m-60.00m VOLCANIC,GREY,BLUE,FRACTURED | 1665m | West |
| GW101439 | 0.00m-0.30m TOP SOIL 0.30m-58.80m SHALE, BROWN 58.80m-79.20m SHALE, BLUE 79.20m-94.50m BASALT | 1678m | South West |

| Groundwater No | Drillers Log | Distance | Direction |
|----------------|---|----------|---------------|
| GW105229 | 0.00m-8.00m CLAYS 8.00m-11.00m WEATHERED ROCK 11.00m-47.00m BASALTS 47.00m-55.00m WEATHERED GROUND 55.00m-61.00m GRANITE | 1694m | West |
| GW057936 | 0.00m-0.30m Topsoil 0.30m-2.40m Clay 2.40m-4.20m Basalt Soft 4.20m-28.00m Basalt Water Supply 28.00m-91.40m Granite Black | 1707m | North West |
| GW105968 | 0.00m-3.00m clay 3.00m-33.00m claystone, dark 33.00m-36.00m claystone, green 36.00m-41.00m shale with granite 41.00m-42.00m granite | 1733m | South West |
| GW105764 | 0.00m-1.00m clay, sandy 1.00m-6.00m clay, sandy 6.00m-16.00m shale yellow 16.00m-20.00m shale, grey 20.00m-42.00m basalt, broken | 1736m | North |
| GW104500 | 0.00m-0.40m TOPSOIL 0.40m-5.00m BROWN STICKY CLAY 5.00m-14.00m LT BROWN WEATHEREAD VOLCANICS 14.00m-30.00m GREY BLACK VOLCANICS | 1769m | North |
| GW054637 | 0.00m-0.20m Topsoil 0.20m-4.80m Shale Decomposed 4.80m-17.60m Shale Grey Hard Water Supply 17.60m-31.10m Shale Black Hard Water Supply 31.10m-34.10m Dolerite 34.10m-35.30m Dolerite Green, Quartz White 35.30m-37.20m Dolerite | 1773m | North West |
| GW105518 | 0.00m-1.00m TOPSOIL 1.00m-8.00m CLAYS 8.00m-16.00m SOFT SHALE 16.00m-38.00m HARD SHALE | 1783m | North |
| GW110447 | 0.00m-5.00m CLAY 5.00m-9.00m GRAVEL 9.00m-17.00m SHALE (YELLOW) 17.00m-30.00m SHALE | 1812m | North |
| GW108053 | 0.00m-1.00m topsoil 1.00m-2.00m clay 2.00m-11.00m granite, decomposed 11.00m-32.00m granite | 1831m | North |
| GW042785 | 0.00m-0.30m Topsoil 0.30m-1.52m Clay 1.52m-6.40m Clay Sand 6.40m-13.41m Clay Gravel Water Supply 13.41m-43.28m Limestone Water Supply | 1844m | North East |
| GW026413 | 0.00m-1.52m Clay Sandy 1.52m-5.18m Clay Gravel 5.18m-7.92m Rock Soft Water Supply 7.92m-11.58m Rock Grey 11.58m-17.68m Rock Hard | 1856m | East |
| GW026414 | 0.00m-4.88m Clay Sandy 4.88m-8.84m Clay Sandy Gravel Water Supply 8.84m-10.97m Rock 10.97m-12.80m Rock Grey 12.80m-15.24m Rock Green Hard 15.24m-20.12m Rock Grey | 1873m | South East |
| GW107592 | 0.00m-2.00m soil clays 2.00m-34.00m siltstone, weathered 34.00m-120.00m siltstone, grey | 1879m | South West |
| GW105323 | 0.00m-4.00m CLAY 4.00m-5.00m GRAVEL SMALL 5.00m-14.00m CLAY SHALE 14.00m-30.00m SHALE | 1881m | North |
| GW105738 | 0.00m-1.00m topsoil 1.00m-5.00m clay, yellow 5.00m-11.00m shale, yellow 11.00m-17.00m shale, grey 17.00m-22.00m slate, black 22.00m-36.00m basalt, broken | 1886m | North |

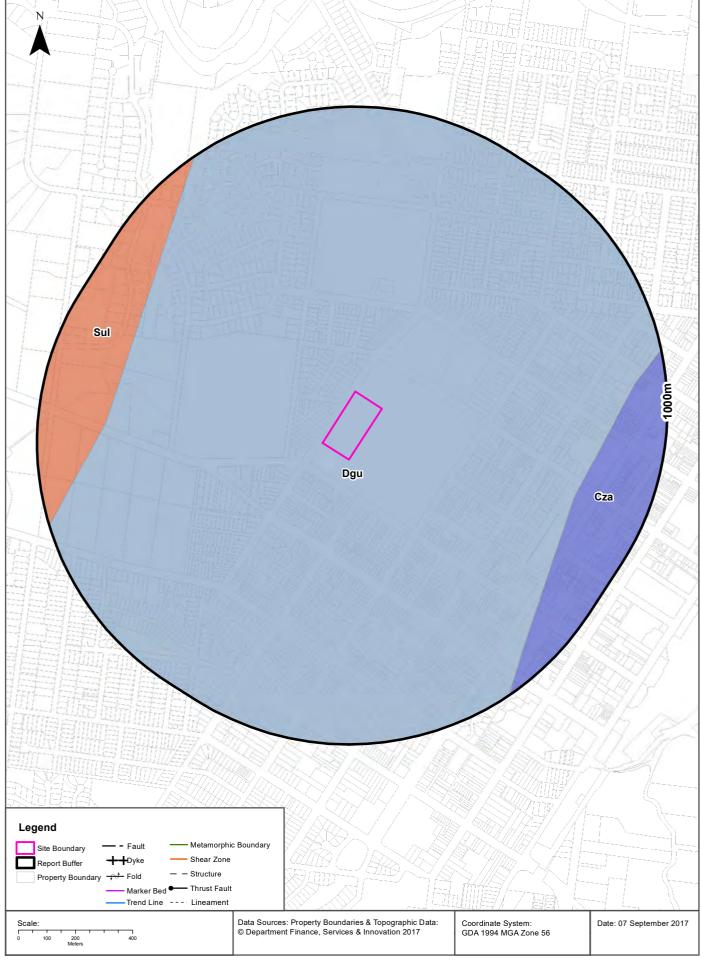
| Groundwater No | Drillers Log | Distance | Direction |
|----------------|---|----------|---------------|
| GW108115 | 0.00m-1.00m TOPSOIL 1.00m-5.00m CLAY 5.00m-11.50m GRAVEL 11.50m-54.00m HARD GREY SHALE 54.00m-81.00m HARD BLACK SHALE | 1894m | South East |
| GW100602 | 0.00m-1.00m CLAY/TOP SOIL 1.00m-5.00m DECOMPOSED GRANITE 5.00m-91.50m GRANITE | 1896m | North West |
| GW105221 | 0.00m-7.00m CLAY 7.00m-14.00m SOFT YELLOW CLAY 14.00m-16.00m WEATHERED GRANITE 16.00m-53.00m BLACK GRANITE | 1932m | East |
| GW035831 | 0.00m-0.15m Topsoil 0.15m-0.60m Clay 0.60m-2.43m Ironstone 2.43m-18.89m Shale 18.89m-42.06m Basalt Water Supply 42.06m-42.97m Granite | 1943m | West |
| GW102093 | 0.00m-0.30m Topsoil 0.30m-3.00m Sandy Clay 3.00m-22.50m Sand and Gravel 22.50m-24.40m Gravel 24.40m-27.40m Blue Shale | 1945m | South East |
| GW036429 | 0.00m-0.40m Topsoil 0.40m-4.00m Clay Yellow Grey 4.00m-6.00m Clay Sandy 6.00m-9.00m Gravel Large Sand Water Supply 9.00m-10.00m Clay Silty Stones Water Supply 10.00m-11.00m Gravel Large Clay Bands Water Bearing 11.00m-12.00m Clay Grey 12.00m-17.00m Gravel Large Clay Bands Water Bearing 17.00m-18.00m Shale Grey Sandy | 1982m | North East |
| GW100603 | 0.00m-2.00m RED CLAY 2.00m-6.00m BASALT, SOFT 6.00m-16.00m BASALT, HARD BLUE 16.00m-55.00m BASALT HIGHLY ALTERED | 1986m | North West |
| GW054751 | 0.00m-3.30m Topsoil 3.30m-5.20m Sand Gravel 5.20m-9.70m Shale Grey Soft 9.70m-18.30m Shale Grey Water Supply 18.30m-25.90m Shale Hard 25.90m-39.60m Slate 39.60m-42.70m Sandstone 42.70m-47.80m Slate 47.80m-100.60m Quartzite Water Supply | 1998m | North East |

Drill Log Data Source: NSW Department of Primary Industries - Office of Water / Water Administration Ministerial Corp Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Geology 1:250,000

85 Deccan Street, Goulburn, NSW 2580





Geology

85 Deccan Street, Goulburn, NSW 2580

Geological Units

What are the Geological Units onsite?

| Symbol | Description | Unit Name | Group | Sub Group | Age | Dom Lith | Map Sheet | Dataset |
|--------|--|--------------|-------|-----------|------------|----------|-----------|-----------|
| Dgu | Siltstone, sandstone, dacite, andesite, conglomerate, tuff, felsite, porphyry, claystone | Gundary beds | | | Palaeozoic | | | 1:250,000 |

What are the Geological Units within the dataset buffer?

| Symbol | Description | Unit Name | Group | Sub Group | Age | Dom Lith | Map Sheet | Dataset |
|--------|--|------------------|-------|-----------|------------|----------|-----------|-----------|
| Cza | Cainozoic alluvium: gravel, sand | undifferentiated | | | Cainozoic | | | 1:250,000 |
| Dgu | Siltstone, sandstone, dacite, andesite, conglomerate, tuff, felsite, porphyry, claystone | Gundary beds | | | Palaeozoic | | | 1:250,000 |
| Sul | Limestone, shale, quartzite, tuff | undifferentiated | | | Palaeozoic | | | 1:250,000 |

Geological Structures

What are the Geological Structures onsite?

| Feature | Name | Description | Map Sheet | Dataset |
|-------------|------|-------------|-----------|-----------|
| No features | | | | 1:250,000 |

What are the Geological Structures within the dataset buffer?

| Feature | Name | Description | Map Sheet | Dataset |
|-------------|------|-------------|-----------|-----------|
| No features | | | | 1:250,000 |

Geological Data Source: NSW Department of Industry, Resources & Energy
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Naturally Occurring Asbestos Potential

85 Deccan Street, Goulburn, NSW 2580

Naturally Occurring Asbestos Potential

Naturally Occurring Asbestos Potential within the dataset buffer:

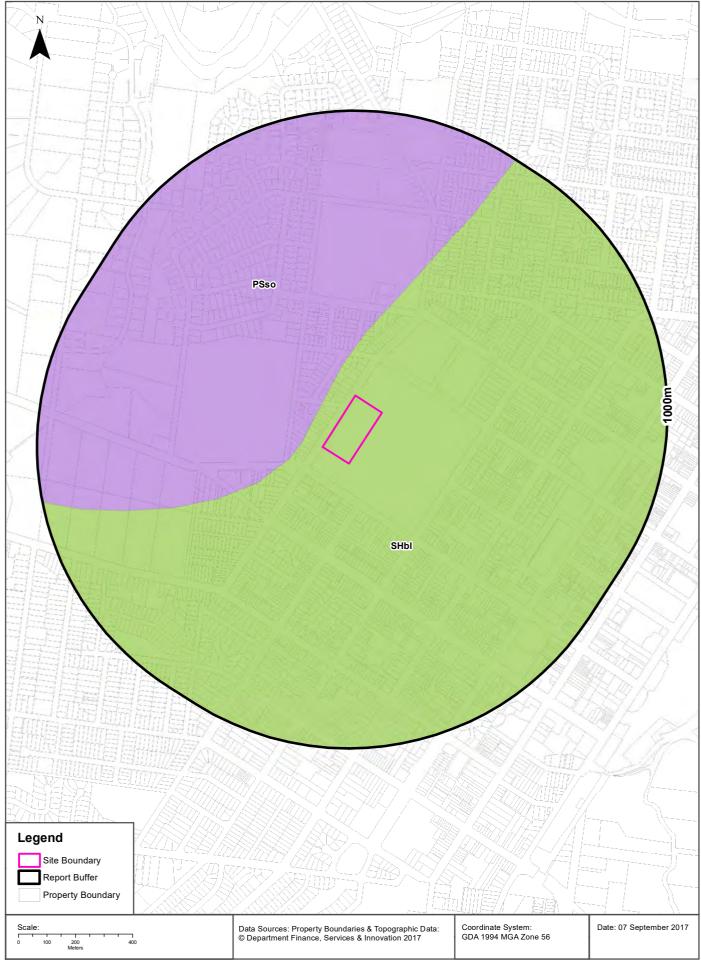
| Potential | Sym | Strat Name | Group | Formation | Scale | Min Age | Max Age | Rock Type | Dom Lith | Description | Dist | Dir |
|----------------------------|-----|------------|-------|-----------|-------|---------|---------|--------------|----------|-------------|------|-----|
| No records in buffer | | | | | | | | | | | | |

Mining Subsidence District Data Source: © State of New South Wales through NSW Department of Industry, Resources & Energy

Soil Landscapes

85 Deccan Street, Goulburn, NSW 2580





Soils

85 Deccan Street, Goulburn, NSW 2580

Soil Landscapes

What are the onsite Soil Landscapes?

| Soil Code | Name | Group | Process | Map Sheet | Scale |
|-----------|-------------|---------|---------|-----------|-----------|
| SHbl | BULLAMALITA | SOLOTHS | | Goulburn | 1:250,000 |

What are the Soil Landscapes within the dataset buffer?

| Soil Code | Name | Group | Process | Map Sheet | Scale |
|-----------|-------------|---------------|---------|-----------|-----------|
| PSso | SOOLEY | PRAIRIE SOILS | | Goulburn | 1:250,000 |
| SHbI | BULLAMALITA | SOLOTHS | | Goulburn | 1:250,000 |

Soils Landscapes Data Source : NSW Office of Environment and Heritage Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Standard Local Environmental Plan Acid Sulfate Soils

85 Deccan Street, Goulburn, NSW 2580

Standard Local Environmental Plan Acid Sulfate Soils

What is the on-site Acid Sulfate Soil Plan Class that presents the largest environmental risk?

| Soil Class | Description | LEP |
|------------|-------------|-----|
| N/A | | |

If the on-site Soil Class is 5, what other soil classes exist within 500m?

| Soil Class | Description | LEP | Distance | Direction |
|------------|-------------|-----|----------|-----------|
| N/A | | | | |

Acid Sulfate Data Source Accessed 07/10/2016: NSW Crown Copyright - Planning and Environment Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Dryland Salinity

85 Deccan Street, Goulburn, NSW 2580

Dryland Salinity - National Assessment

Is there Dryland Salinity - National Assessment data onsite?

No

Is there Dryland Salinity - National Assessment data within the dataset buffer?

No

What Dryland Salinity assessments are given?

| Assessment 2000 | Assessment 2020 | Assessment 2050 | Distance | Direction |
|-----------------|-----------------|-----------------|----------|-----------|
| N/A | N/A | N/A | N/A | N/A |

Dryland Salinity Data Source: National Land and Water Resources Audit

The Commonwealth and all suppliers of source data used to derive the maps of "Australia, Forecast Areas Containing Land of High Hazard or Risk of Dryland Salinity from 2000 to 2050" do not warrant the accuracy or completeness of information in this product. Any person using or relying upon such information does so on the basis that the Commonwealth and data suppliers shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information. Any persons using this information do so at their own risk.

In many cases where a high risk is indicated, less than 100% of the area will have a high hazard or risk.

Dryland Salinity Potential of Western Sydney

Dryland Salinity Potential of Western Sydney within the dataset buffer?

| Feature Id | Classification | Description | Distance | Direction |
|------------|-----------------------|-------------|----------|-----------|
| N/A | Outside Data Coverage | | | |

Dryland Salinity Potential of Western Sydney Data Source : NSW Office of Environment and Heritage Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Mining Subsidence Districts

85 Deccan Street, Goulburn, NSW 2580

Mining Subsidence Districts

Mining Subsidence Districts within the dataset buffer:

| District | Distance | Direction |
|---|----------|-----------|
| There are no Mining Subsidence Districts within the report buffer | | |

Mining Subsidence District Data Source: © Land and Property Information (2016)

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Environmental Zoning

85 Deccan Street, Goulburn, NSW 2580

State Environmental Planning Policy Protected Areas

Are there any State Environmental Planning Policy Protected Areas onsite or within the dataset buffer?

| Dataset | Onsite | Within Site Buffer | Distance |
|----------------------------------|--------|--------------------|----------|
| SEPP14 - Coastal Wetlands | No | No | N/A |
| SEPP26 - Littoral Rainforests | No | No | N/A |
| SEPP71 - Coastal Protection Zone | No | No | N/A |

SEPP Protected Areas Data Source: NSW Department of Planning & Environment Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

State Environmental Planning Policy Major Developments (2005)

State Environmental Planning Policy Major Developments within the dataset buffer:

| Map Id | Feature | Effective Date | Distance | Direction |
|--------|--------------------------|----------------|----------|-----------|
| N/A | No records within buffer | | | |

SEPP Major Development Data Source: NSW Department of Planning & Environment Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

State Environmental Planning Policy Strategic Land Use Areas

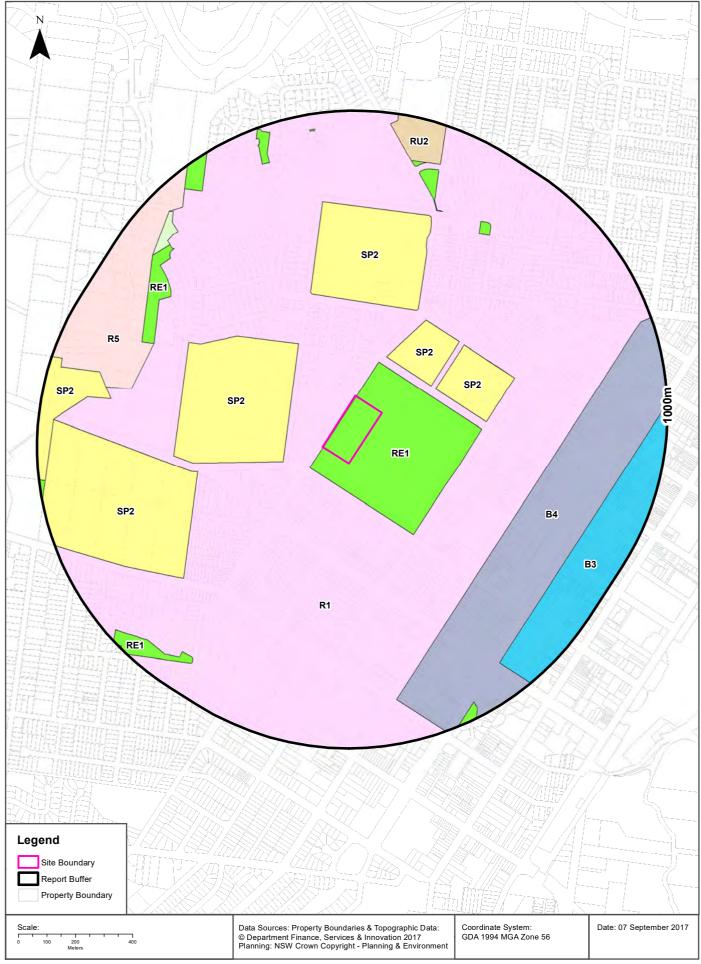
State Environmental Planning Policy Strategic Land Use Areas onsite or within the dataset buffer:

| Strategic Land Use | SEPPNo | Effective Date | Amendment | Amendment Year | Distance | Direction |
|--------------------------|--------|----------------|-----------|-------------------|----------|-----------|
| No records within buffer | | | | | | |

SEPP Strategic Land Use Data Source: NSW Department of Planning & Environment Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

LEP Planning Zones 85 Deccan Street, Goulburn, NSW 2580





Local Environmental Plan

85 Deccan Street, Goulburn, NSW 2580

Land Zoning

What Local Environmental Plan Land Zones exist within the dataset buffer?

| Zone | Description | Purpose | LEP or SEPP | Published Date | Commenced Date | Currency Date | Amendment | Distance | Direction |
|------|--------------------------|-------------------------------|--|-------------------|----------------|------------------|-----------|----------|---------------|
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 0m | Onsite |
| R1 | General Residential | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 0m | Onsite |
| SP2 | Infrastructure | Educational Establishment | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 131m | West |
| SP2 | Infrastructure | School | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 172m | North East |
| SP2 | Infrastructure | Hospital | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 205m | East |
| SP2 | Infrastructure | School | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 330m | North |
| SP2 | Infrastructure | School | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 447m | West |
| B4 | Mixed Use | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 588m | East |
| R5 | Large Lot Residential | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 691m | North West |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 693m | North West |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 709m | North |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 711m | North East |
| SP2 | Infrastructure | Public Utility Undertaking | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 761m | West |
| В3 | Commercial Core | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 820m | South East |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 831m | North |
| RE2 | Private Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 838m | North West |
| RU2 | Rural Landscape | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 847m | North |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 868m | South West |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 870m | North |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 896m | North East |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 939m | North |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 944m | South |
| RE1 | Public Recreation | | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 15/08/2014 | | 979m | West |

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Local Environmental Plan

85 Deccan Street, Goulburn, NSW 2580

Minimum Subdivision Lot Size

What are the onsite Local Environmental Plan Minimum Subdivision Lot Sizes?

| Symbol | Minimum Lot Size | LEP or SEPP | Published Date | Commenced Date | Currency Date | Amendment | Percentage of Site Area |
|--------|---------------------|---|-------------------|----------------|------------------|-----------|-------------------------|
| Q | 700 m² | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 08/11/2013 | | 2.08 |

Maximum Height of Building

What are the onsite Local Environmental Plan Maximum Height of Buildings?

| Symbol | Maximum Height of Building | LEP or SEPP | Published Date | Commenced Date | Currency Date | Amendment | Percentage of Site Area |
|---------|----------------------------------|-------------|----------------|-------------------|------------------|-----------|-------------------------|
| No Data | | | | | | | |

Floor Space Ratio

What are the onsite Local Environmental Plan Floor Space Ratios?

| S | ymbol | Floor Space Ratio | LEP or SEPP | Published Date | Commenced Date | Currency Date | Amendment | Percentage of Site Area |
|---|--------|-------------------------|-------------|-------------------|----------------|------------------|-----------|-------------------------|
| N | o Data | | | | | | | |

Land Application

What are the onsite Local Environmental Plan Land Applications?

| Application Type | LEP or SEPP | Published Date | Commenced Date | Currency Date | Amendment | Percentage of Site Area |
|------------------|--|-------------------|----------------|------------------|----------------|-------------------------|
| Included | Goulburn Mulwaree Local Environmental Plan 2009 | 08/11/2013 | 08/11/2013 | 08/11/2013 | Amendment No 4 | 100 |

Land Reservation Acquisition

What are the onsite Local Environmental Plan Land Reservation Acquisitions?

| Reservation | LEP | Published Date | Commenced Date | Currency Date | Amendment | Comments | Percentage of Site Area |
|-------------|-----|-------------------|----------------|------------------|-----------|----------|-------------------------|
| No Data | | | | | | | |

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Heritage Items

85 Deccan Street, Goulburn, NSW 2580





Heritage

85 Deccan Street, Goulburn, NSW 2580

State Heritage Items

What are the State Heritage Items located within the dataset buffer?

| Map Id | Name | Address | LGA | Listing Date | Listing No | Plan No | Distance | Direction |
|---------|---|--------------------------------|----------------------|-----------------|------------|---------|----------|---------------|
| 5060513 | St. Saviour's Cathedral | 170 Bourke Street, Goulburn | Goulburn Mulwaree | 20/04/2009 | 1798 | 2271 | 719m | South East |
| 5054919 | St. Peter and Paul's Former Cathedral | 42 Verner Street Goulburn | Goulburn Mulwaree | 20/04/2009 | 1797 | 2270 | 830m | South East |

Heritage Data Source: NSW Crown Copyright - Planning & Environment Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Local Heritage Items

What are the Local Heritage Items located within the dataset buffer?

| Map Id | Name | Classification | Significance | LEP or Act | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|---|--------------------------------|--------------|---|-------------------|-------------------|------------------|----------|---------------|
| 162 | War Memorial Swimming Pool Complex (1964) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 0m | Onsite |
| 160 | Dwelling, Victorian (c 1880) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 29m | West |
| 161 | Dwellings (c 1946, c 1949) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 29m | West |
| 163 | Dwellings, International (c 1960), 'Cambria', Georgian (c 1870) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 34m | North |
| 164 | Dwelling, Two Storey (1951) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 82m | North |
| 300 | Dwelling, Two Storey (c 1860) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 119m | South |
| В | Goulburn City Conservation Area | Conservation Area - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 124m | East |
| 301 | Goulburn TAFE, Two Storey Dwelling | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 131m | West |
| 242 | Dwelling, Georgian (c 1860) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 156m | South West |
| 182 | Goulburn High School, Two Storey, Edwardian (1926) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 172m | North East |
| 181 | Goulburn Base Hospital, Central Building, Pavilions (former, 1887) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 205m | North East |
| 257 | Dwelling | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 239m | North |
| 217 | Dwellings, Single Storey | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 291m | South |
| 255 | Dwellings, 'Ingalara', Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 354m | South East |

| Map Id | Name | Classification | Significance | LEP or Act | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|--|----------------|--------------|---|-------------------|-------------------|------------------|----------|------------|
| 168 | Dwellings, 'Finchley', 'Uxbridge', 'Edgeware', 'St Albans', 'Hedon', 'Elstree', 'Belsize', 'Bayswat* | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 354m | South East |
| 128 | Dwelling, 'Clifftoria' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 385m | East |
| 145 | Dwellings, 'Bishopthorpe' (c 1881), 'Wandara', Two Storey, Victorian (c 1882) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 415m | South East |
| 135 | St Patricks Collage (1873) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 447m | West |
| 129 | Dwelling, Early Georgian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 457m | East |
| 254 | Dwelling, Two Storey (1920'30) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 471m | South East |
| 134 | Dwellings, Edwardian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 498m | South |
| 147 | Dwellings, 'Clandulla', Victorian (c 1882) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 501m | South East |
| 148 | Dwellings, Single Storey Terraces (c 1870) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 516m | East |
| 127 | Dwellings, Two Storey Terraces | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 523m | East |
| 180 | Dwellings, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 533m | East |
| 173 | Dwelling (1884) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 553m | West |
| 149 | Shop, Residence, Corner Store (former, c 1860) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 557m | East |
| 152 | Dwelling, Victorian Italianate (c 1890) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 576m | East |
| 169 | Dwellings, Pair | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 583m | East |
| 146 | Dwelling, Single Storey, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 587m | South East |
| 299 | Dwelling, 'Tarcoola' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 588m | South East |
| 154 | Dwellings, 'Fermoy' (c 1920), Dwelling (c 1912), 'Birkless', Victorian (c 1885) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 606m | East |
| 253 | Dwelling, Late Victorian and Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 607m | South East |
| 126 | Dwelling, Two Storey | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 613m | East |
| 179 | Dwellings, Semi- detached, Georgian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 616m | East |
| 298 | Nursing Home, Two Storey, Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 618m | South East |
| 277 | Dwelling, 'Hillside', Single Storey, Georgian (c 1845), Flats, Three Storey, Spanish Mission | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 628m | South East |

| Map Id | Name | Classification | Significance | LEP or Act | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|--|----------------|--------------|---|-------------------|----------------|------------------|----------|---------------|
| 116 | Dwelling, 'Highgate', Queen Anne, Federation, Late Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 628m | South East |
| 170 | Dwelling, Police Barracks (former), Stone Rubble with Contrasting Quoining | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 630m | North East |
| 036 | Church (1884), Rectory | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 636m | South West |
| 117 | Dwelling, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 648m | South East |
| 125 | Dwelling, Stables, Georgian (c 1850) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 651m | East |
| 133 | Dwellings, Victorian (1885, 1886) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 652m | South East |
| 092 | Goulburn Public School (1897) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 666m | East |
| 252 | Dwelling, Federation (1891) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 669m | South East |
| 104 | Dwelling, 'Rossneath' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 676m | East |
| 088 | Goulburn Technical College (1901), Baptist Church, Dwelling, Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 690m | South East |
| 210 | Dwellings, Detached, Victorian (pre 1882) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 697m | South East |
| 156 | Dwellings, 'Repton', Late Victorian, 'Kiaburn', 'Woomerah' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 701m | East |
| 150 | Dwellings, 'Louise Garden', Federation (c 1900) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 701m | East |
| 090 | St Saviours Church Hall, St Saviours Cathedral (1884) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 722m | South East |
| 115 | Dwelling, Queen Anne, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 725m | South East |
| 151 | Dwellings, 'Cropper House', Georgian and Victorian (c 1980) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 736m | East |
| 157 | Dwelling, 'Rosscraig', Gothic | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 737m | East |
| 216 | Dwelling, 'Shanklin', Queen Anne, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 742m | North East |
| 303 | Brick Water Cisterns, Ponds | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 761m | West |
| 086 | Dwellings, Two Storey Terraces | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 763m | South East |
| 268 | Dwelling, Single Storey | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 767m | North East |
| 103 | Dwellings, Victorian Italianate | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 771m | East |
| 153 | Dwelling, Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 775m | East |

| Map Id | Name | Classification | Significance | LEP or Act | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|---|----------------|--------------|---|----------------|----------------|------------------|----------|------------|
| 132 | Dwelling, Two Storey, Fence, Victorian (1886) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 780m | South East |
| 102 | Mansion, 'Carrawarra' (1883) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 787m | East |
| 213 | Dwelling, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 810m | North East |
| 215 | Dwelling, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 810m | North East |
| 158 | Dwelling, 'Bulwarra', Fences, Gate | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 815m | East |
| 087 | Masonic Temple (c 1928), Two Storey Terrace, Commercial | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 820m | South East |
| 250 | Offices, Two Storey, Federation (c 1910) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 820m | South East |
| 084 | School Building, Two Storey (former) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 821m | South East |
| 085 | Dwelling, 'Claremont Manor' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 821m | South East |
| 297 | Saint Patrick's School (1914) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 822m | South East |
| 296 | Roman Catholic Bishop's Residence, Presbytery, Front Fence (1909) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 830m | South East |
| 218 | Dwelling, 'Kentville' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 831m | North East |
| 177 | Dwelling, Two Storey, Late Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 834m | East |
| 251 | Flat building, 'Montague Court' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 842m | South East |
| 089 | Dwellings | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 848m | East |
| 131 | Our Lady of Mercy Convent, Chapel (1861) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 850m | South East |
| 101 | Dwellings, Terraces, Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 851m | East |
| 124 | Terrace, Two Storey, Free Standing | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 856m | East |
| 091 | Dwellings, Semi- detached, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 859m | East |
| 235 | Dwelling, Late Victorian and Picturesque (c 1880) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 863m | North East |
| 093 | Dwelling, Two Storey, Victorian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 864m | East |
| 229 | Lilac City Cinema (c 1959) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 867m | South East |
| 224 | Dwelling, Georgian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 869m | North |
| 100 | Lynburn', Two Storey, Georgian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 881m | East |
| 249 | Offices, 'Halsbury House' (1938) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 887m | South East |

| Map Id | Name | Classification | Significance | LEP or Act | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|--|----------------|--------------|---|-------------------|-------------------|------------------|----------|---------------|
| 269 | Dwelling, 'Marlowe' | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 890m | North East |
| 214 | Dwelling | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 896m | North East |
| 234 | Dwellings, Federation (c 1900) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 898m | North East |
| 081 | Dwelling, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 904m | East |
| 175 | Methodist Church | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 905m | East |
| 099 | Dwelling, Federation and Victorian Italianate | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 909m | East |
| 248 | Elmslea Chambers', Art Deco (1933'36) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 912m | South East |
| 079 | Dwellings, Terraces | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 917m | East |
| 178 | Dwellings, Single Storey Cottages, Georgian | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 923m | East |
| 247 | Offices, Central Business, Offices (c 1902), Fire Station (former converted), Two Storey (c 1890) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 935m | South East |
| 050 | Building, Two Storey (c 1880) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 940m | South East |
| 052 | Building, Two Storey (c 1890) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 940m | South East |
| 046 | Shops (c 1925, c 1926) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 940m | South East |
| 047 | Shops, Flats over, Bakery Buildings (former) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 941m | South East |
| 078 | Dwellings, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 946m | East |
| 044 | Shop, Flat above | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 949m | South East |
| 155 | Dwelling (1885) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 953m | East |
| 123 | Presbyterian Church (1923) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 965m | East |
| 037 | Dwelling | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 966m | South West |
| 057 | Buildings, Commercial, 'Hollis', (c 1930) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 967m | South East |
| 246 | Offices (c 1915) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 967m | South East |
| 061 | Building, Two Storey (c 1900) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 968m | South East |
| 062 | Buildings, Two Storey (c 1900, c 1890, c 1886) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 968m | South East |
| 075 | Dwellings, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 970m | North East |
| 069 | Buildings, Two Storey (c 1890, c 1886, c 1890) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 971m | East |

| Map Id | Name | Classification | Significance | LEP or Act | Published Date | Commenced Date | Currency Date | Distance | Direction |
|--------|---|----------------|--------------|---|-------------------|----------------|------------------|----------|------------|
| 055 | Building, Two Storey (c 1887), Department Store (c 1890) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 975m | South East |
| 065 | Building, Two Storey, Bank of Australasia (former, c 1910) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 975m | East |
| 080 | Dwelling, 'St Kilda Cottage' (former, 1862) | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 981m | East |
| 043 | Tattersall's Hotel', Shop | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 984m | South East |
| 176 | Liedertafel (Lieder) Theatre | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 988m | East |
| 076 | Dwelling, Federation | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 990m | North East |
| 228 | Dwelling, 'Lawrenny' (formerly 'Penrice') | Item - General | Local | Goulburn Mulwaree Local Environmental Plan 2009 | 13/03/2009 | 13/03/2009 | 13/03/2009 | 998m | North East |

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Natural Hazards

85 Deccan Street, Goulburn, NSW 2580

Bush Fire Prone Land

What are the nearest Bush Fire Prone Land Categories that exist within the dataset buffer?

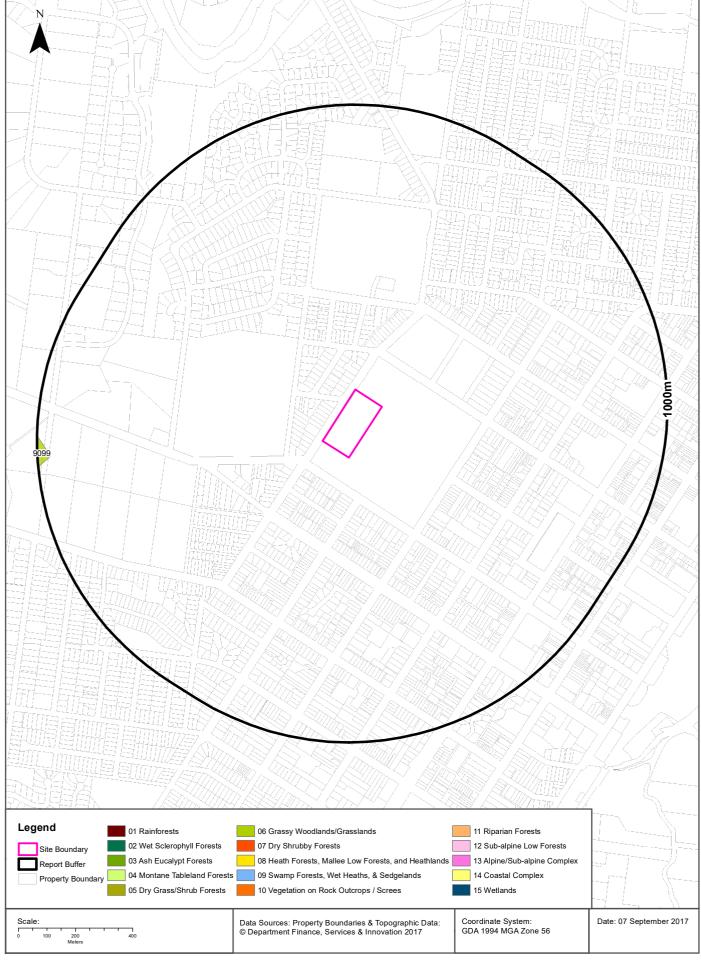
| Bush Fire Prone Land Category | Distance | Direction |
|-------------------------------|----------|-----------|
| No records within buffer | | |

NSW Bush Fire Prone Land - © NSW Rural Fire Service under Creative Commons 4.0 International Licence

Ecological Constraints - Vegetation of the Southern Forests

85 Deccan Street, Goulburn, NSW 2580





Ecological Constraints

85 Deccan Street, Goulburn, NSW 2580

Vegetation of the Southern Forests

What vegetation of the Southern Forests exists within the dataset buffer?

| Map Id | Veg Code | Formation | Class | Group | Distance | Direction |
|--------|----------|-----------------------------------|---|----------------------------------|----------|-----------|
| 9099 | 154 | 06 Grassy Woodlands/Grasslands | 06c ST Yellow Box-Apple Box Grassy Woodlands | Tableland Dry Grassy Woodland | 953m | West |

Vegetation of the Southern Forests: NSW Office of Environment and Heritage Creative Commons 4.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/4.0/

RAMSAR Wetlands

What RAMSAR Wetland areas exist within the dataset buffer?

| Map Id | RAMSAR Name | Wetland Name | Designation Date | Source | Distance | Direction |
|--------|----------------------|--------------|-------------------------|--------|----------|-----------|
| N/A | No records in buffer | | | | | |

RAMSAR Wetlands Data Source: © Commonwealth of Australia - Department of Environment

Ecological Constraints

85 Deccan Street, Goulburn, NSW 2580

ATLAS of NSW Wildlife

Endangered &Vulnerable Species on the ATLAS of NSW Wildlife database, within 10km of the site?

| Class | Family | Scientific | Common | Exotic | NSW Status | Commonwealth Status |
|----------|-------------------------|-------------------------------------|-------------------------------|--------|---|--------------------------|
| Amphibia | Hylidae | Litoria aurea | Green and Golden Bell Frog | No | Endangered, Protected | Vulnerable |
| Aves | Acanthizidae | Chthonicola sagittata | Speckled Warbler | No | Vulnerable, Protected | |
| Aves | Accipitridae | Haliaeetus leucogaster | White-bellied Sea-Eagle | No | Vulnerable, Protected | CAMBA |
| Aves | Accipitridae | Hieraaetus morphnoides | Little Eagle | No | Vulnerable, Protected | |
| Aves | Artamidae | Artamus cyanopterus cyanopterus | Dusky Woodswallow | No | Vulnerable, Protected | |
| Aves | Cacatuidae | Callocephalon fimbriatum | Gang-gang Cockatoo | No | Vulnerable, Protected, Category 3 Sensitive Species | |
| Aves | Ciconiidae | Ephippiorhynchus asiaticus | Black-necked Stork | No | Endangered, Protected | |
| Aves | Estrildidae | Stagonopleura guttata | Diamond Firetail | No | Vulnerable, Protected | |
| Aves | Falconidae | Falco subniger | Black Falcon | No | Vulnerable, Protected | |
| Aves | Meliphagidae | Anthochaera phrygia | Regent Honeyeater | No | Critically Endangered Species, Protected | Critically Endangered |
| Aves | Neosittidae | Daphoenositta chrysoptera | Varied Sittella | No | Vulnerable, Protected | |
| Aves | Petroicidae | Petroica boodang | Scarlet Robin | No | Vulnerable, Protected | |
| Mammalia | Emballonuridae | Saccolaimus flaviventris | Yellow-bellied Sheathtail-bat | No | Vulnerable, Protected | |
| Mammalia | Pteropodidae | Pteropus poliocephalus | Grey-headed Flying-fox | No | Vulnerable, Protected | Vulnerable |
| Mammalia | Vespertilionidae | Falsistrellus tasmaniensis | Eastern False Pipistrelle | No | Vulnerable, Protected | |
| Mammalia | Vespertilionidae | Miniopterus schreibersii oceanensis | Eastern Bentwing-bat | No | Vulnerable, Protected | |
| Reptilia | Pygopodidae | Delma impar | Striped Legless Lizard | No | Vulnerable, Protected | Vulnerable |
| Flora | Asteraceae | Rutidosis leptorrhynchoides | Button Wrinklewort | No | Endangered, Protected | Endangered |
| Flora | Fabaceae (Faboideae) | Bossiaea oligosperma | Few-seeded Bossiaea | No | Vulnerable, Protected | Vulnerable |
| Flora | Orchidaceae | Diuris aequalis | Buttercup Doubletail | No | Endangered, Protected, Category 2 Sensitive Species | Vulnerable |
| Flora | Rhamnaceae | Pomaderris delicata | Delicate Pomaderris | No | Critically Endangered Species, Protected | |

Data does not include records not defined as either endangered or vulnerable, and category 1 sensitive species are also excluded. NSW Office of Environment and Heritage's Atlas of NSW Wildlife, which holds data from a number of custodians. Data obtained 07/09/2017

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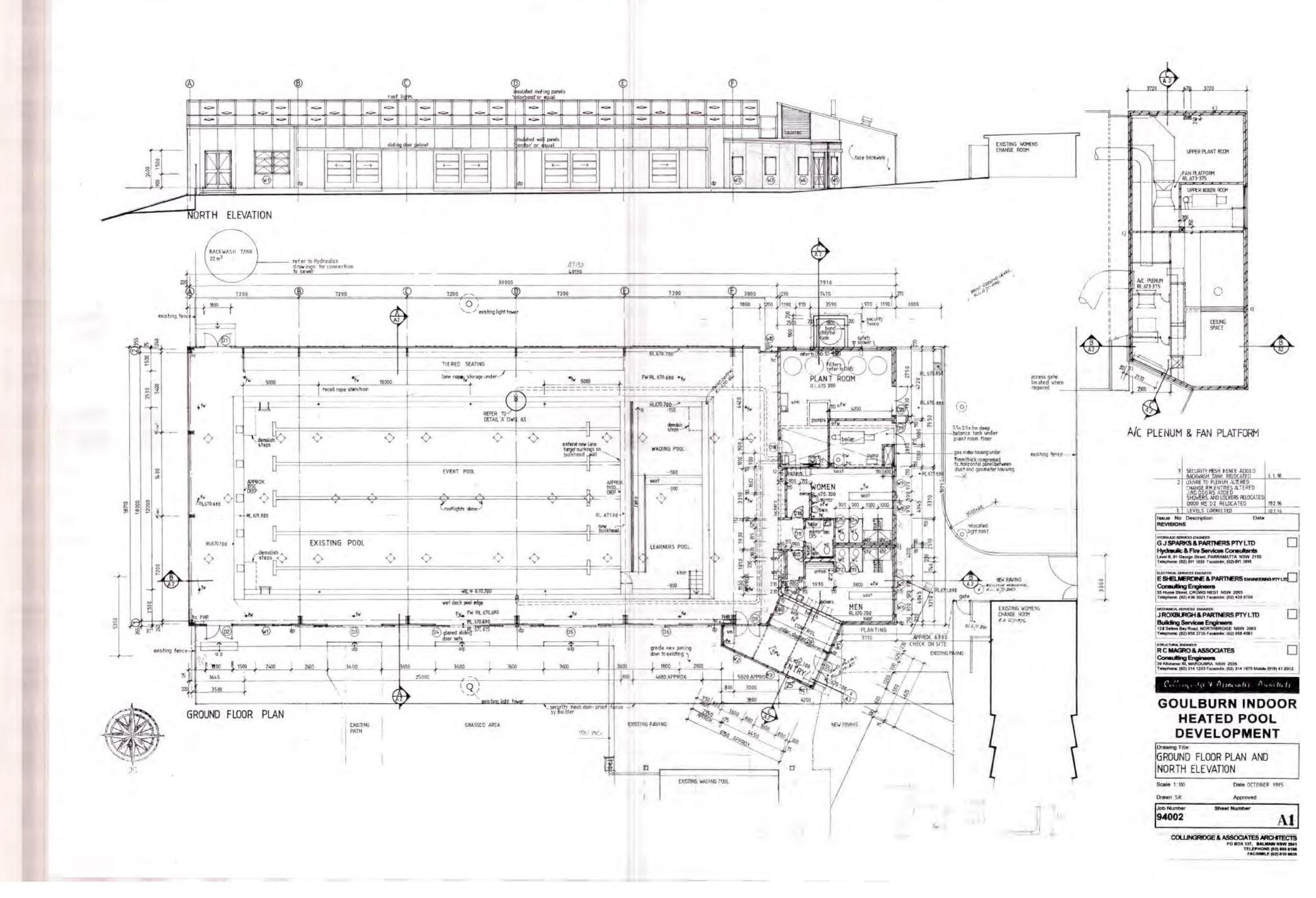
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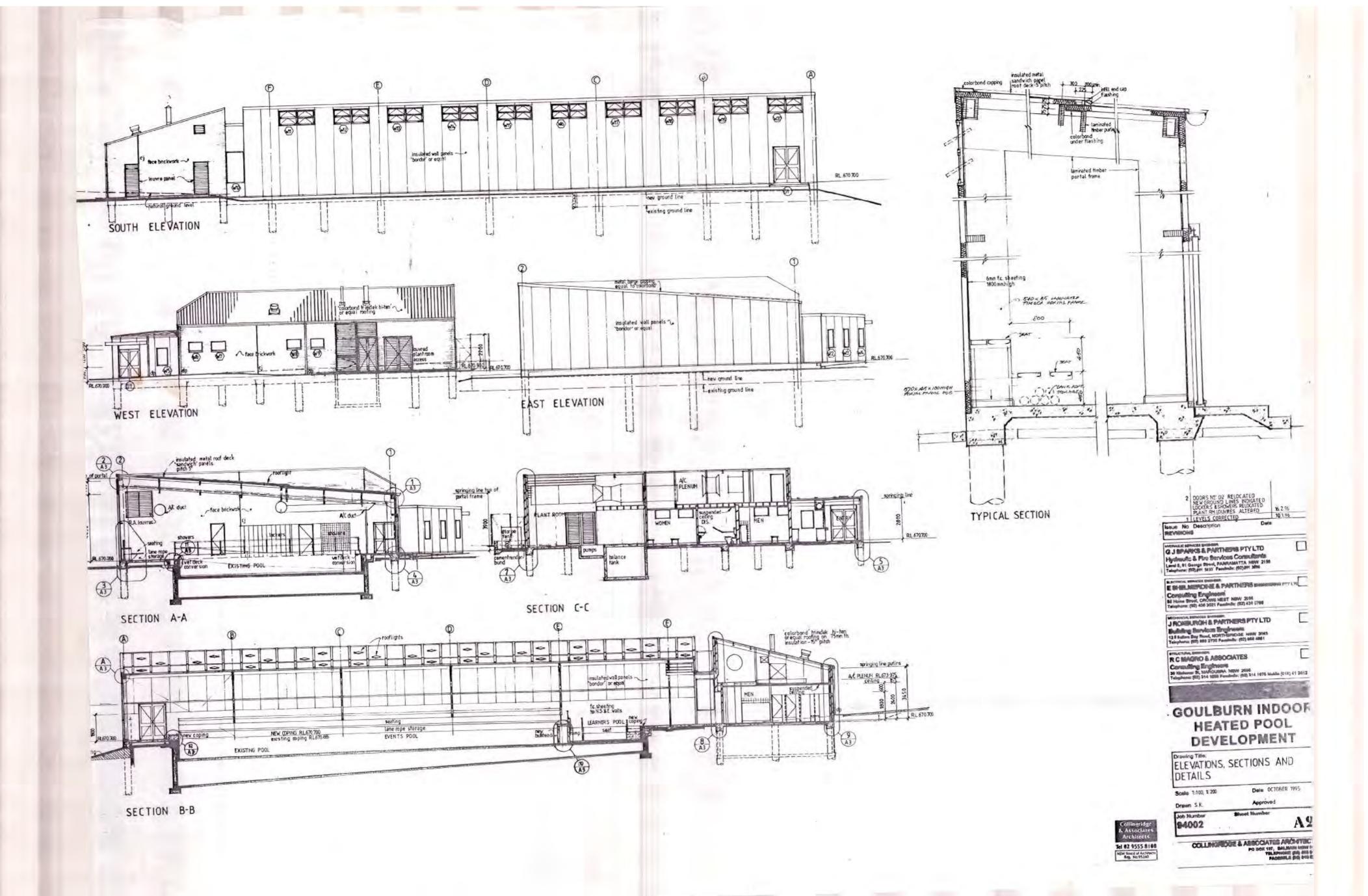
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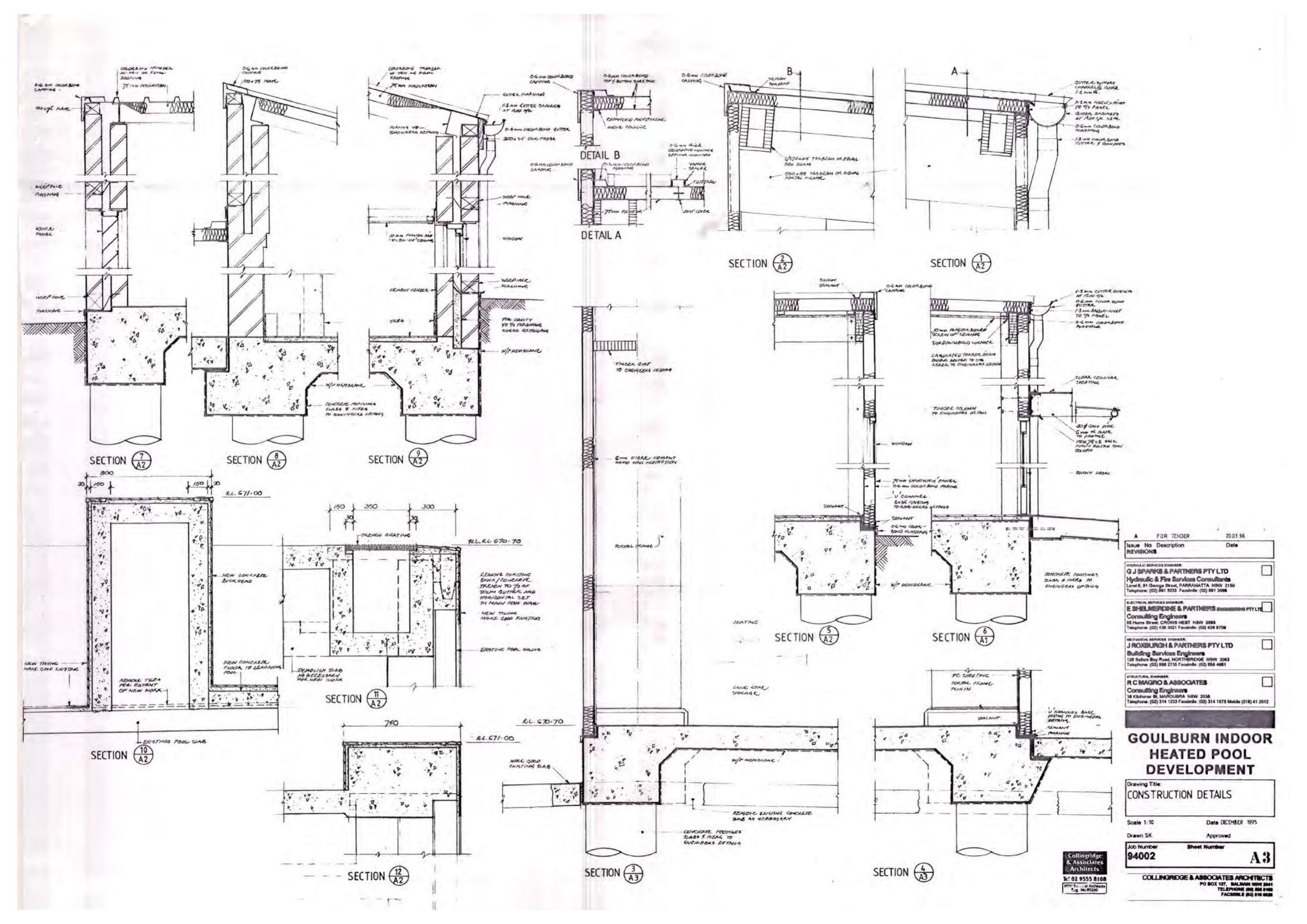


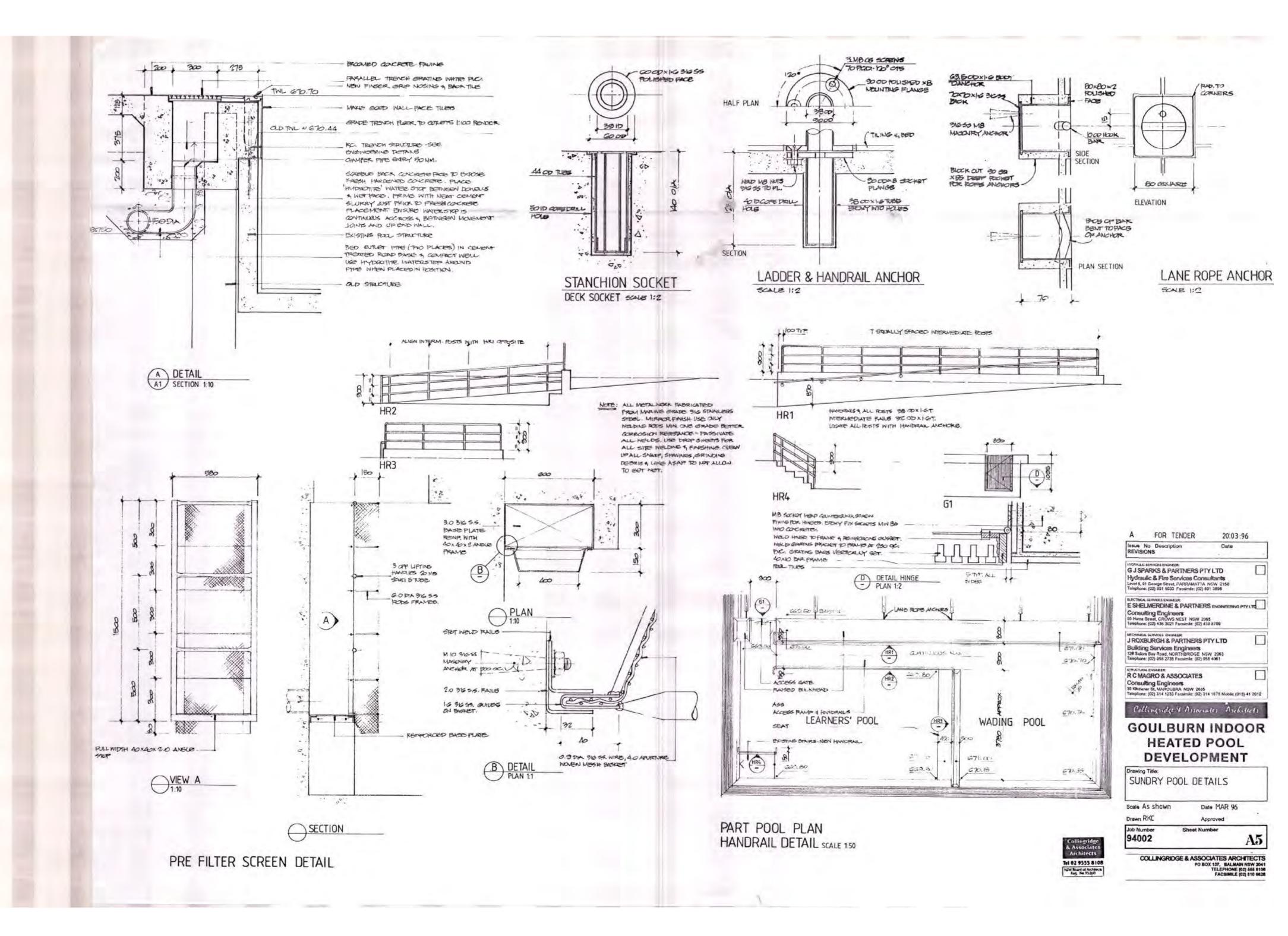
Appendix C

Building Plans









GOULBURN INDOOR HEATED POOL DEVELOPMENT.

GENERAL

- G1 READ THESE DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL AND OTHER ENGINEERING DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTION AS MAY BE ISSUED.
- G2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT SAA CODES AND CURRENT AMENDMENTS.
- G3 REFER ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- G4 DO NOT SCALE THE STRUCTURAL DRAWINGS.
- G5 VERIFY SETTING OUT DIMENSIONS BEFORE COMMENCING
- G6 ALL PROPRIETARY PRODUCTS & FIXING SHALL BE INSTALLED TO THE MANUFACTURER'S SPECIFICATION. EQUIVALENT STSTEMS SHALL BE SUBMITTED FOR APPROVAL.

PLANT ROOM 7.5 kPa

2.0 kPa

LOADING

L1 THIS STRUCTURE IS DESIGNED FOR THE FOLLOWING SUPERIMPOSED LOADS:

LIVE LOADS POOL

WIND LOADS CATEGORY 3 TO AS 1170

- L2 MAINTAIN THE STRUCTURE IN A STABLE CONDITION DURING CONSTRUCTION.
- L3 DO NOT PLACE OR STORE BUILDING MATERIALS ON STRUCTURAL MEMBERS WITHOUT THE ENGINEER'S APPROVAL.
- L4 STRUCTURE SUBJECT TO DESIGN AND SUPPLY SHALL CONFORM TO EARTHQUAKE PROVISIONS TO AS 1170 PART 4 AND SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.

SITE PREPARATION

- SP1 EXISTING FILL MATERIAL SHALL BE COMPACTED USING SUITABLE EQUIPTMENT, TO OBTAIN THE NECESSARY CAPACITY TO CARRY THE DESIGN LOADS.
- SP2 REMOVE AND REPLACE ANY MATERIAL THAT CAN NOT BE COMPACTED TO 95% STANDARD DRY DENSITY.

FOUNDATIONS

- F1 GROUT INJECTED PIERS ARE DESIGNED FOR AN ALLOWABLE
 END BEARING AS FOLLOWS:
 MUDSTONE 1,000 kPg
- F2 REFER TO GEOTECHNICAL REPORT BY JEFFERY & KATAUSKAS No.11464J/b DATED 17 NOVEMBER, 1996.

SLABS ON GROUND

- SGI BACKFILLING TO SITE SHALL BE INERT GRANULAR MATERIAL PLACED IN LAYERS NOT EXCEEDING 150mm THICKNESS AND COMPACTED TO 95% STANDARD DRY DENSITY AT ± 2% OPTIMUM MOISTURE CONTENT.
- SG2 PROVIDE A 0.2mm VAPOUR BARRIER UNDER ALL SLABS IN CONTACT WITH THE GROUND LAPPED 150mm AND JOINTED WITH 75mm WIDE PRESSURE TAPE.
- SG3 PROVIDE 15 'ABELFLEX' OR EQUIVALENT FOR ISOLATION JOINTS AT LOCATIONS SHOWN ON DRAWINGS AND AT ALL WALL AND COLUMN JUNCTIONS.

REINFORCEMENT

- R1 BAR NOTATION GIVES THE FOLLOWING INFORMATION IN THIS ORDER: No. OF BARS; GRADE SYMBOL; BAR SIZE BAR SPACING (IF REQUIRED); LOCATION.
- R2 REINFORCEMENT IS PRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.
- R3 MAINTAIN CLEAR COVER TO REINFORCEMENT (INCLUDING FITMENTS) AS FOLLOWS:

FOOTINGS
BALANCE TANK
SLABS ON GRADE
SUSPENDED SLABS

50mm 60mm (WATER FACE) 40mm (TOP) 45 TOP, 30 BTM

UNLESS NOTED OTHERWISE.

R4 LAP REINFOREMENT AS FOLLOWS:

Y12 400 Y16 600 Y20 750

R5 PROVIDE FULL STRENGTH END LAPS TO FABRIC EQUIVALENT TO THE WRE SPACING PLUS 25mm. PROVIDE NOMINAL SIDE LAPS TO FABRIC EQUIVALENT TO 25mm BETWEEN OUTER WIRES. UNLESS NOTED OTHERWISE.

STAINLESS STEEL / POOL ENCLOSURE

- SS1 ALL STAINLESS STEEL SHALL BE GRADE 316 UNLESS SPECIFICALLY NOTED OTHERWISE.
- SS2 ALL FIXINGS WITHIN THE POOL ENCLOSURE SHALL BE STAINLESS STEEL UNLESS SPECIFICALLY NOTED OTHERWISE.
- SS3 ALL BOLTS SHALL BE PRECUT TO LENGTH PRIOR TO INSTALLATION.
- SS4 ALL FIXTURES SHALL BE PROFESSIONALLY FABRICATED AND FINISHED TO COMPLY WITH THE ARCHITECT'S AESTHETIC SPECIFICATION, IMPLIED OR SPECIFIED.

STEELWORK

- S1 STEELWORK SHALL COMPLY WITH AS 4100.
- S2 UNLESS NOTED OTHERWISE, ALL STEEL SHALL BE GRADE 250 IN ACCORDANCE WITH AS 1204 AND AS 1163.
- S3 COMMERCIAL BOLTS SHALL COMPLY WITH AS 1111 AND HIGH STRENGTH STRUCTURAL BOLTS SHALL COMPLY WITH AS 1511 AND AS 1252.
- S4 BOLTS TO BE M20 4.6S UNLESS NOTED OTHERWISE.
- SS BOLTS TO HAVE 2mm CLEARENCE UNLESS NOTED
- S6 WELDING SHALL COMPLY WITH AS 1554.
- S7 BUTT WELDS TO BE FULL PENETRATION SP AND FILLET WELDS 8mm CONTINUOUS GP UNLESS NOTED OTHERWISE.
- SB GUSSET PLATES TO BE 10mm THICK UNLESS NOTED
- S9 SUBMIT THREE COPIES OF WORKSHOP DRAWINGS AND OBTAIN STRUCTURAL APPROVAL BEFORE STARTING
- 510 ALL STEELWORK SHALL BE TEMPORARILY BUT SECURLY BRACED UNTIL ALL STABILISING ELEMENTS HAVE BEEN COMPLETED.
- S11 ALL STEELWORK SHALL BE HOT DIP GALVANISED TO AS 1650. CLEAN TO BRIGHT WETAL BY ABRASIVE BLAST OR EQUIVALENT TO CLASS 3 FINISH TO AS 1627. CALVANISE WITH A MINIMUM COATING THICKNESS DF 100 MICROMETERS.
- S12 PROVIDE 20mm NOMINAL GROUT BED BELOW BASE PLATES. MINIMUM GROUT COMPRESSIVE STRENGTH

FORMWORK

- FW1 FORMWORK SHALL COMPLY WITH AS 3610.
- FW2 THE CONTRACTOR SHALL SUBMIT HIS PROPOSAL FOR FORMWORK AT THE COMMENCEMENT OF THE PROJECT.
- FW3 UNLESS NOTED OTHERWISE:

 MAINTAIN ALL FORMWORK IN POSITION FOR 7 DAYS
 MINIMUM AND KEEP SLABS FULLY PROPPED FOR AN
 ADDITIONAL 14 DAYS.
- FW4 REMOVE ALL PROPS AND FORMWORK FROM BEAMS AND SLABS BEFORE CONSTRUCTING WALLS OVER.

TIMBER

- TI TIMBER SHALL COMPLY WITH AS 1720 & AS1684.
- T2 ALL TIMBER SHALL BE TASBEAM GRADE 18S OR APPROVED EQUIVALENT.
- 73 ALL EXPOSED TIMBER FIXINGS SHALL BE SS(316) OR APPROVED EQUIVALENT.
- T4 ALTERNATIVE SYSTEMS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.

MASONRY

- M1 MASONRY SHALL COMPLY AS 3700
- | M2 | REQUIRED PROPERITIES OF MASONRY | UNIT | TYPE | MORTAR | MASONRY | UNIT | COMPOSITION | STRENGTH | STRENGTH | C.L.S) | 1 'uc | f 'mb | CLAY | 1:1:6 | 30 | 7.7
- M3 FINISH TOPS OF LOAD BEARING WALLS SMOOTH AND

CONCRETE

- C1 CONCRETE WORK SHALL COMPLY WITH AS 3600 AND AS
- C2 EXPOSURE CLASSIFICATION TO AS 3600 INTERIOR B2 EXTERIOR B2
- C3 CEMENT SHALL BE TYPE 'A' AND EXCLUDE COCI, (CALCIUM CHLORIDE). SLABS & TANK ONLY.
- C3 REQUIRED PROPERITIES OF CONCRETE:

ELEMENT GRADE F'c SLUMP MAX. AGG

GROUT PIERS 30 80 20

FOOTINGS 40 80 20

SLABS (ALL) 40 80 20

- C4 TYPE OF CONTROL TESTING TO AS 3600
- C5 ADMIXTURES SHALL ONLY BE USED WITH THE APPROVAL OF THE ENGINEER.
- C6 MECHANICALLY VIBRATE CONCRETE TO THOROUGHLY COMPACT WITHOUT SEGREGATION.
- C7 BEAM SIZES ARE GIVEN DEPTH AND WIDTH IN THAT ORDER.
- CB SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C9 NO HOLES OR CHASES OR JOINTS OTHER THAN THOSE SHOWN SHALL BE MADE IN CONCRETE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C10 CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS 3600. UNLESS NOTED OTHERWISE SHALL BE CONTINUOUSLY MOIST CURED AS FOLLOWS: EXPOSURE CLASSIFICATION B2: 7 DAYS MINIMUM

DRAWING SCHEDULE

- ST PROJECT NOTES & TITLE SHEET.
- SZ PILE LAYOUT & GENERAL SLAB PLAN.
- S3 DETAIL SLAB PLANS
- ENTRY, AMENITIES & PLANT ROOM.
- S4 FOOTING AND SLAB SECTIONS & DETAILS.

 S5 MARKING PLAN & ELEVATIONS.
- S6 TIMBER PORTAL ENCLOSURE DETAILS & BRACING.
- ST AMENITIES ROOF & SERVICES PLATFORM & DETAILS.

A FOR BA & TENDER

Issue No Description Date
REVISIONS

27/2/95

G J SPARKS & PARTMERS PTY LTD Hydraulic & Fire Services Consultants Lord 6, 91 Course Street, PARKAMATTA NOW 2150 Talephone (02) 891 3523 Foundable (02) 891 3596

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College Grade & Associates Asplicateds

GOULBURN INDOOR

HEATED POOL DEVELOPMENT

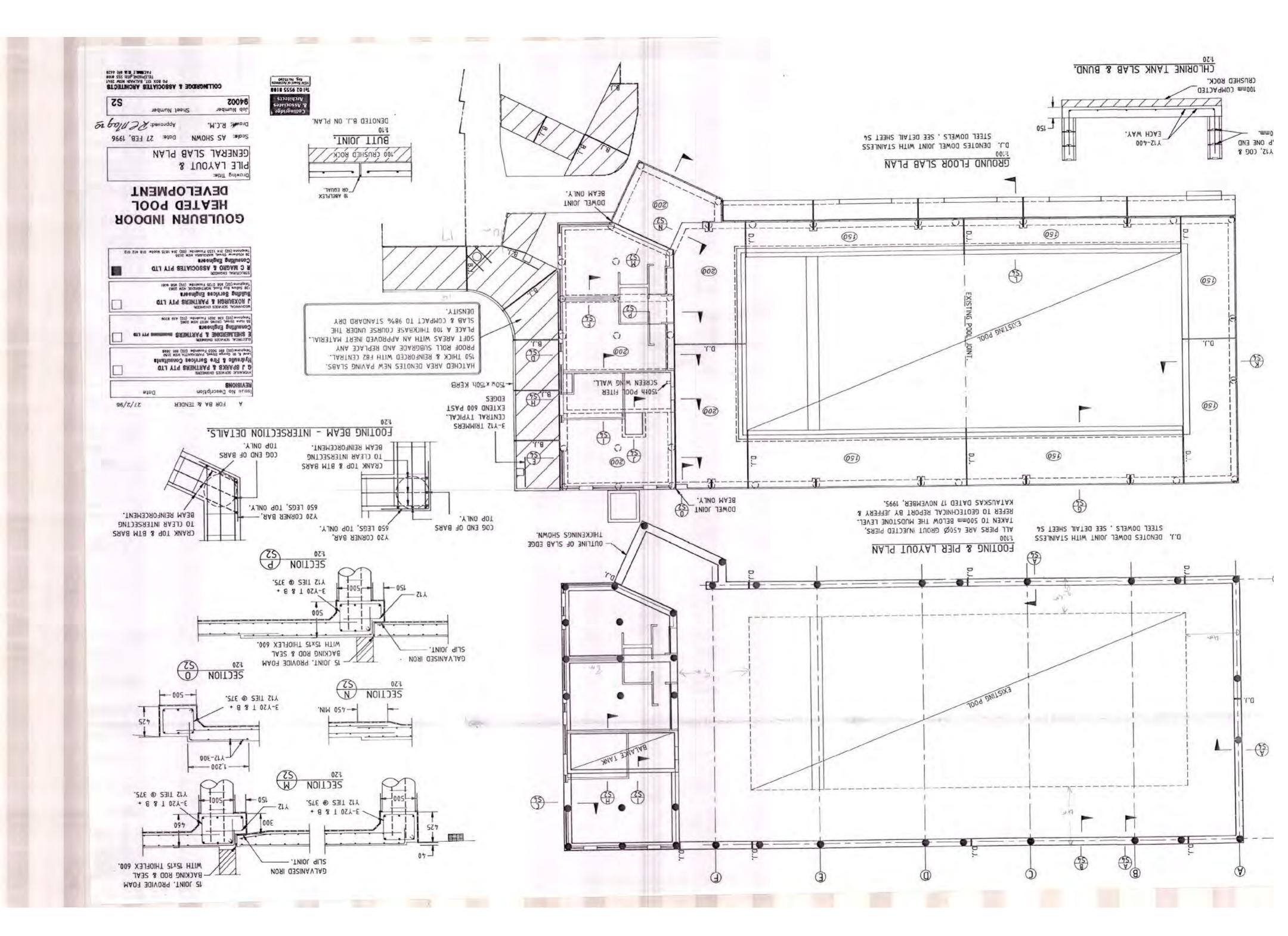
PROJECT NOTES & TITLE SHEET.

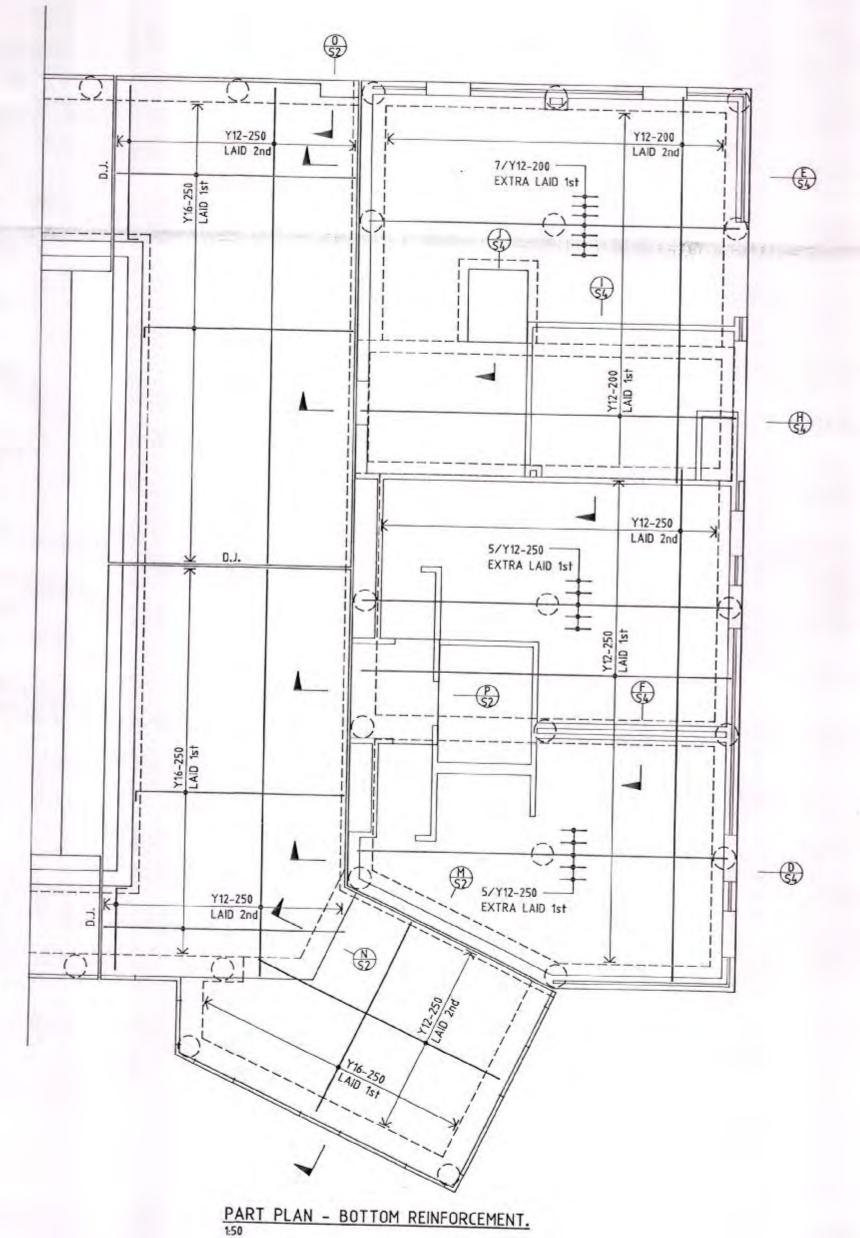
Scale: AS SHOWN Date: 27 FEB, 1996
Drawn: R.C.M. Approved: R.C. Mag 10

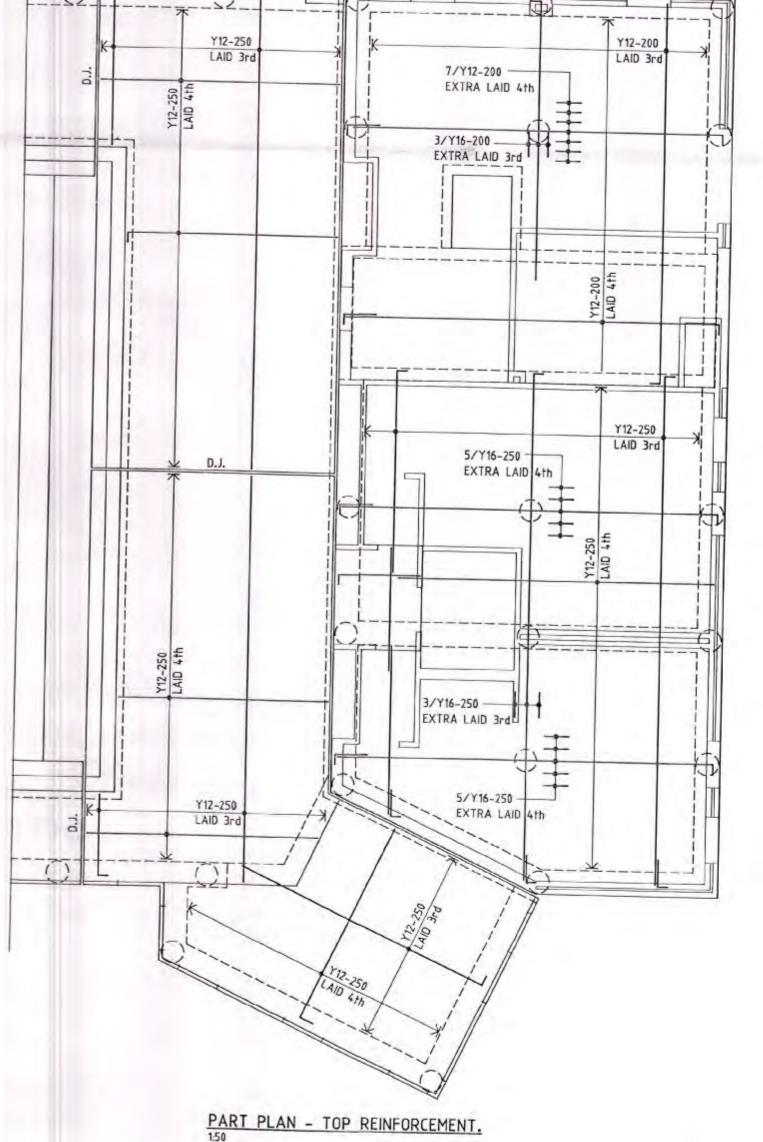
Job Number 94002

S1

COLLINGRIDGE & ASSOCIATES ARCHITECTS
PO BOX 197, BALHAM MSW 2041
TZLEPHONE (92) 555 6106
FACSIMLE (92) 670 6428









GOULBURN INDOOR HEATED POOL DEVELOPMENT

Drawing Title:

DETAIL SLAB PLANS - ENTRY, AMENITIES & PLANT ROOM.

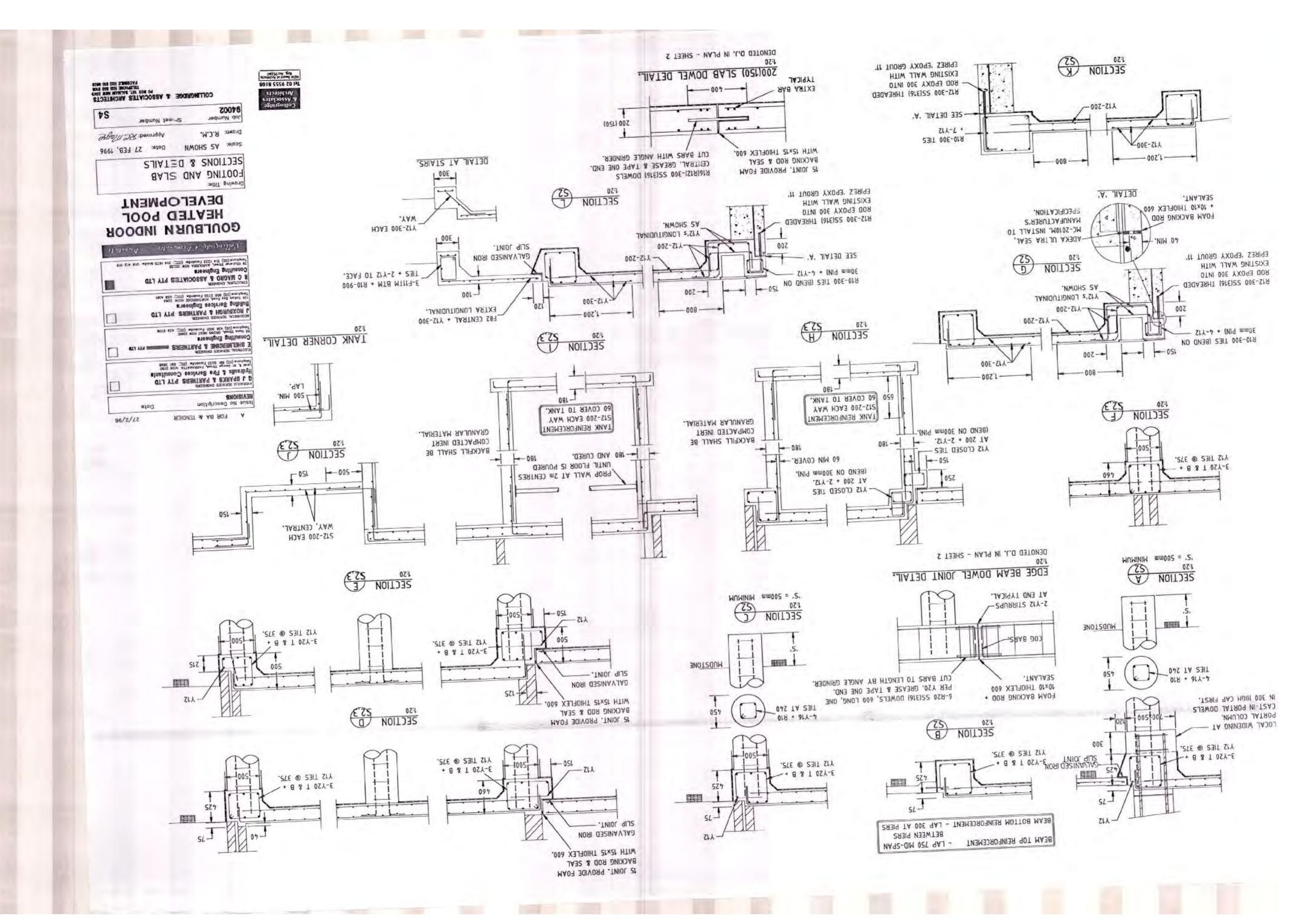
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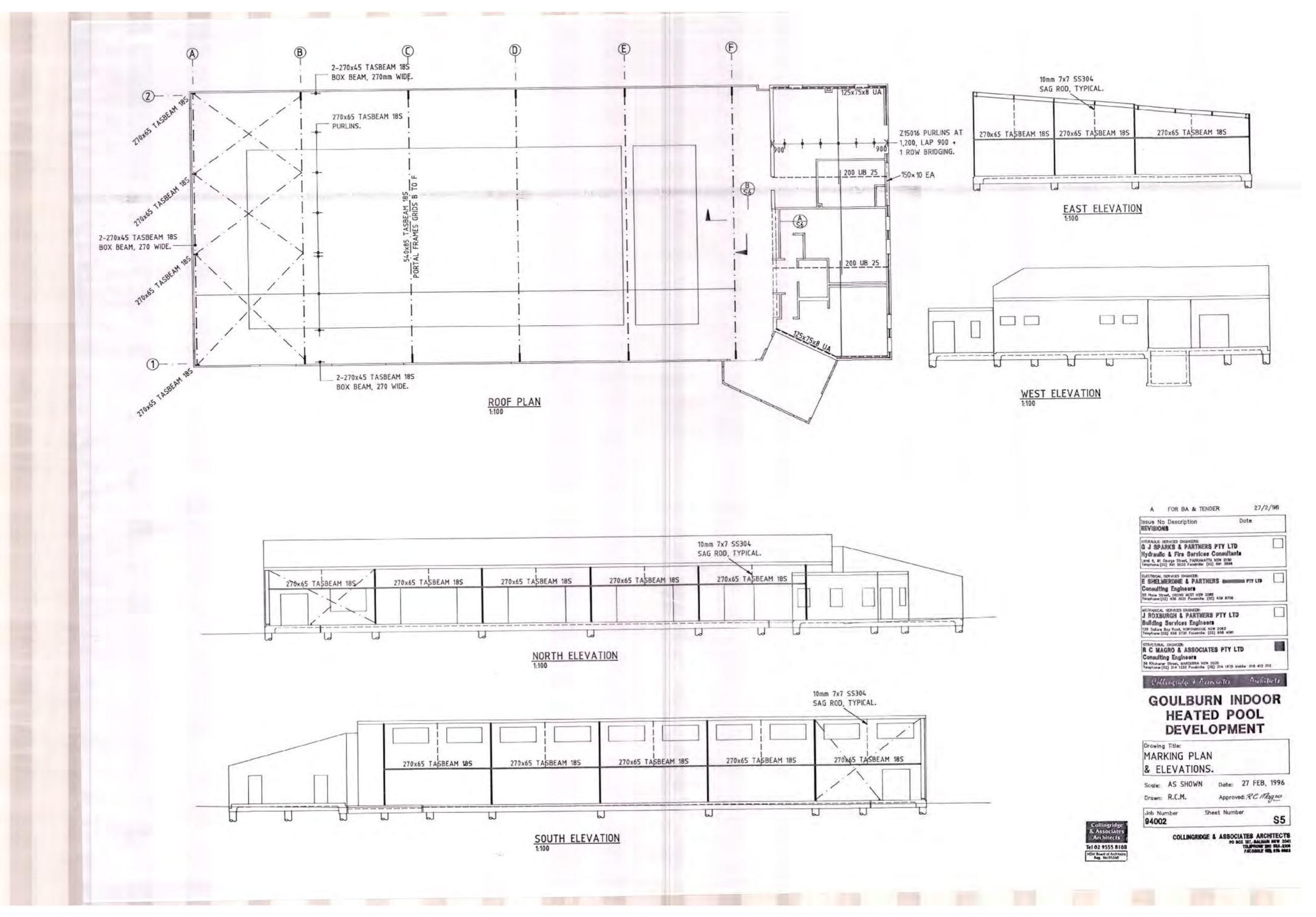
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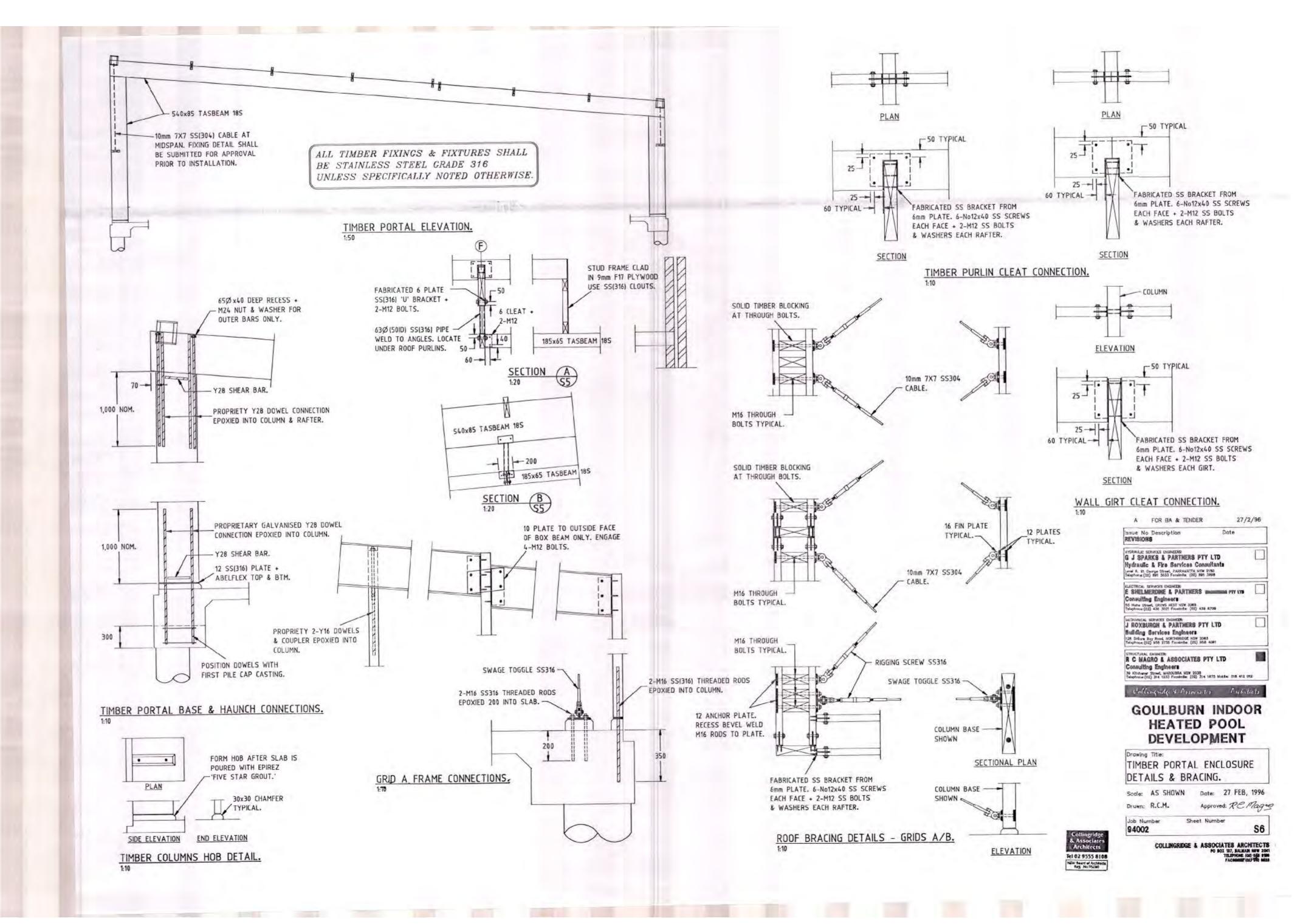
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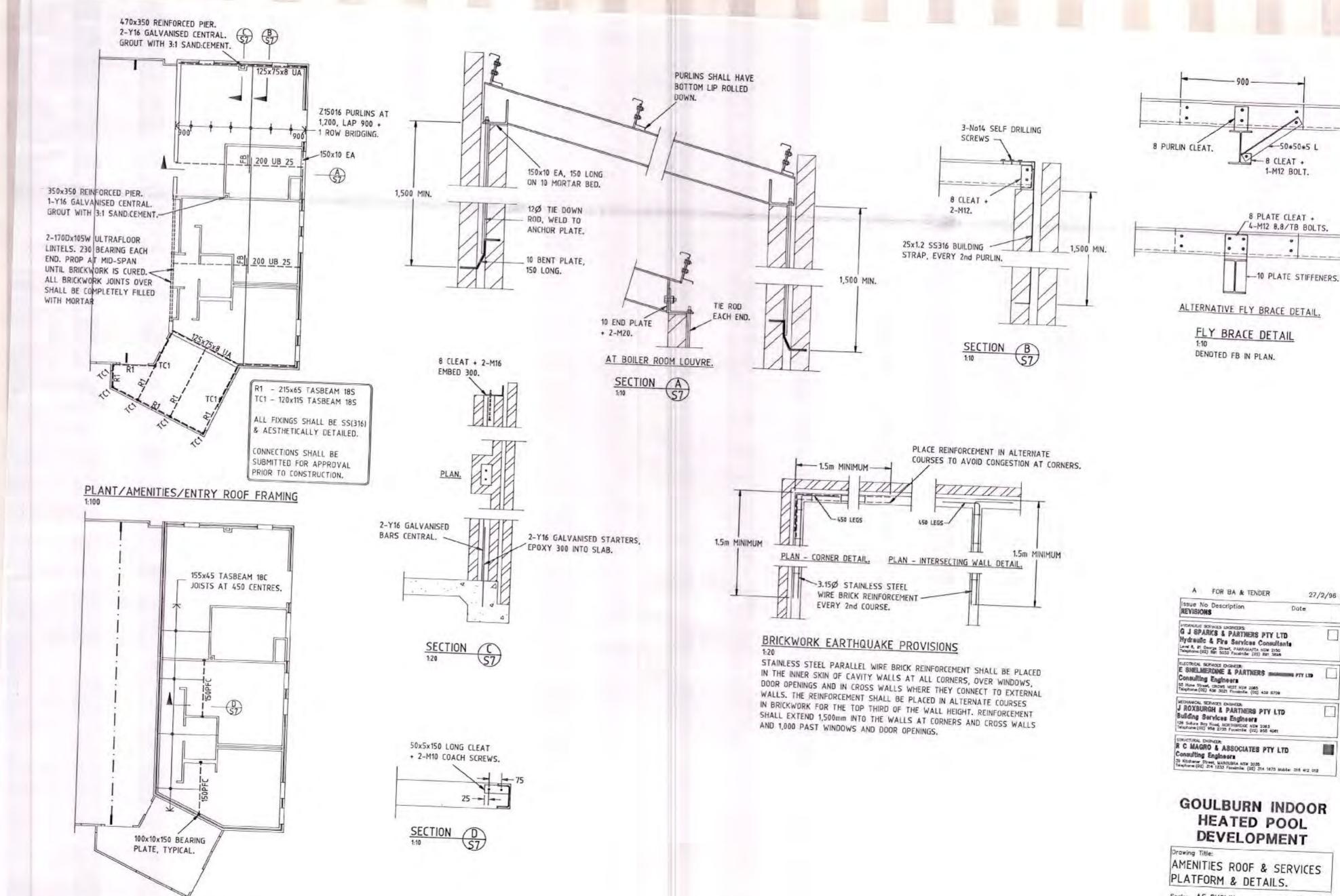
S3 COLLINGRIDGE & ASSOCIATES ARCALIECTS
PU BOX 137, BALMAN NS= 2641
TELEPHONE 1923 SES 8108
FACSHILE 1823 BTE 6428











A/C PLENUM & FAN PLATFORM.



€-50*50*5 L

GOULBURN INDOOR HEATED POOL

AMENITIES ROOF & SERVICES PLATFORM & DETAILS.

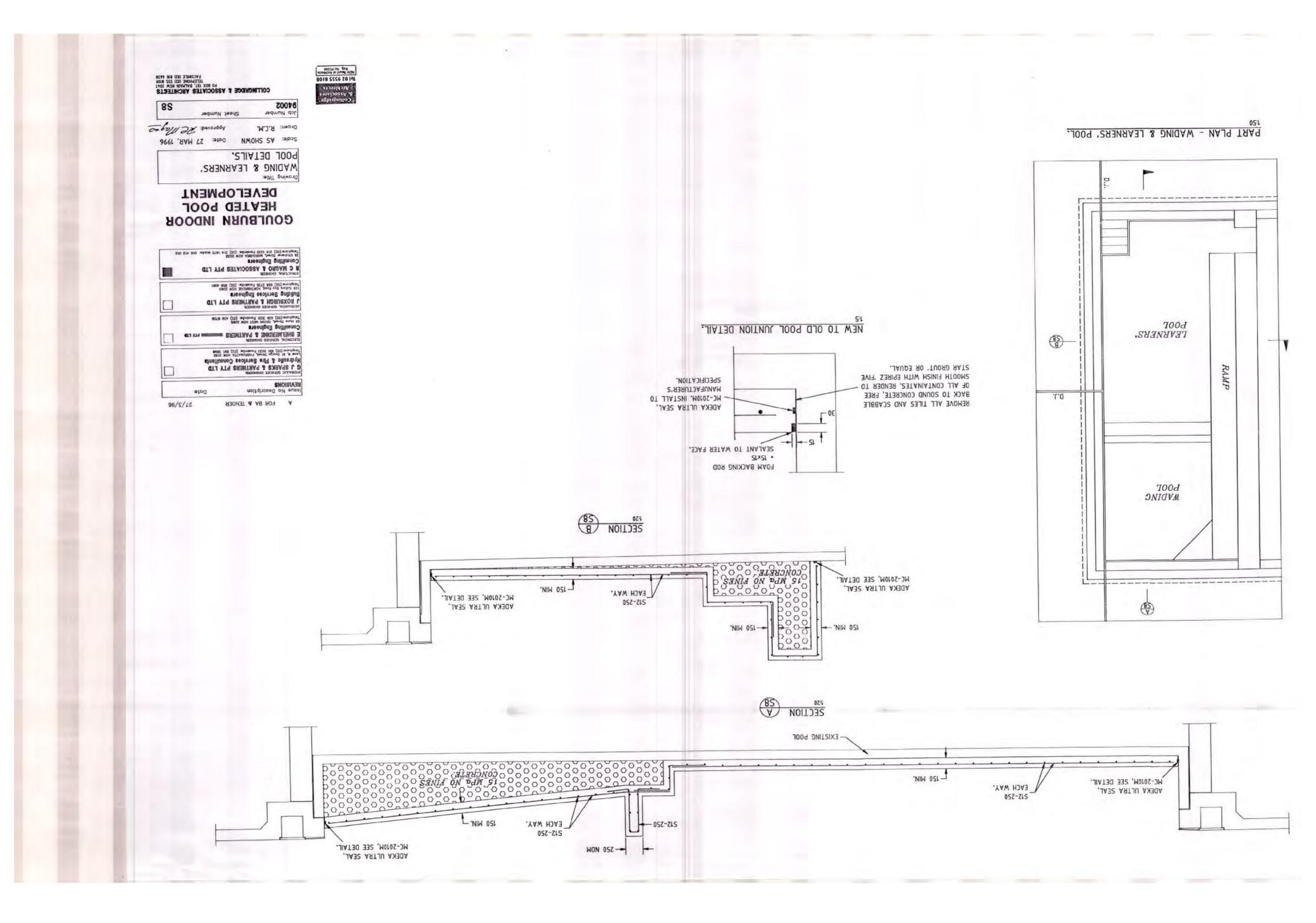
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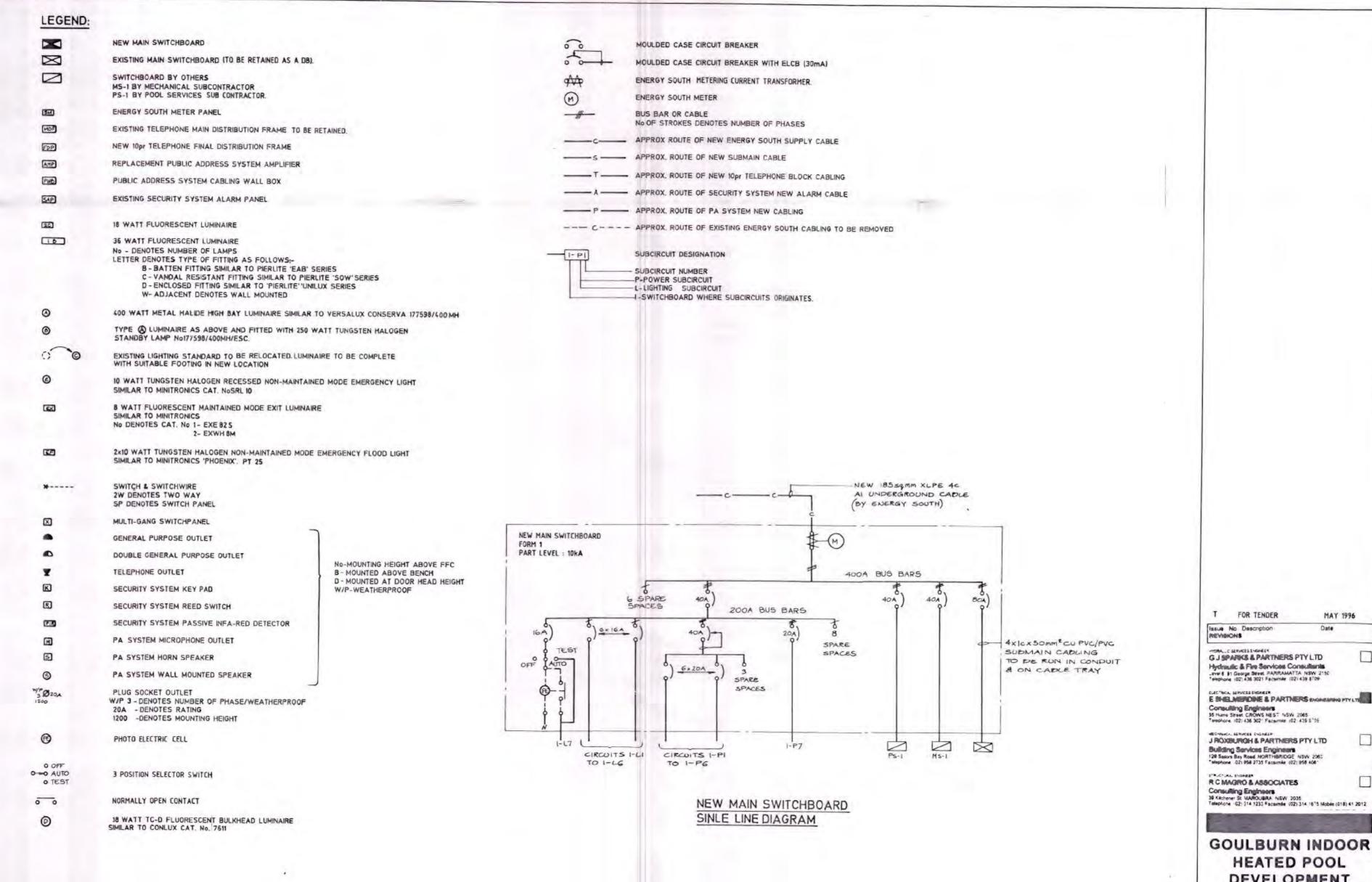
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COLLINGRIDGE & ASSOCIATES ARCHITECTS
PO BOX 137, BALHAUN NSW 2041
TEI EPHONE 1022 555 8138
FACSIPALE 1021 810 6628

Sheet Number





Tel 02 9555 8108 NSW Board of Architects Reg. No 95260 Building Services Engineers 128 Selon Bey Road NORTHBRIDGE NSW 2063 "Methode 021 958 2735 Fatamile (02) 958 406" Consulting Engineers 39 Kepterer St. WAROUBRA. NSW. 2035 Teleptone -02: 314 1233 Securitie (02) 314 1615 Hobite (018) 41 2012 **GOULBURN INDOOR HEATED POOL** DEVELOPMENT

MAY 1996

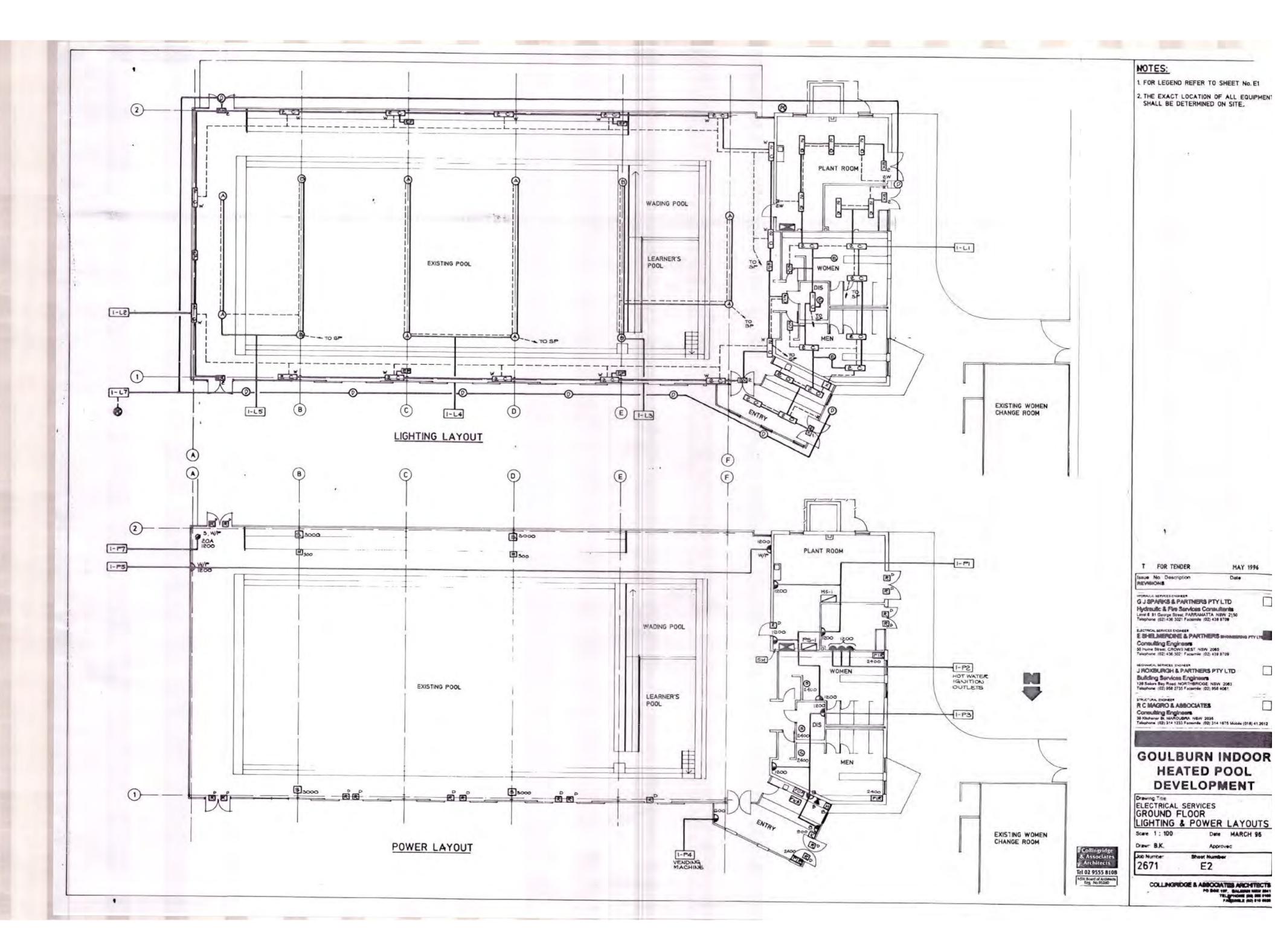
ELECTRICAL SERVICES LEGEND & SINGLE LINE DIAGRAM Date MARCH '96 Sa. NTS

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COLLINGRIDGE & ASSOCIATES ARCHITECTS

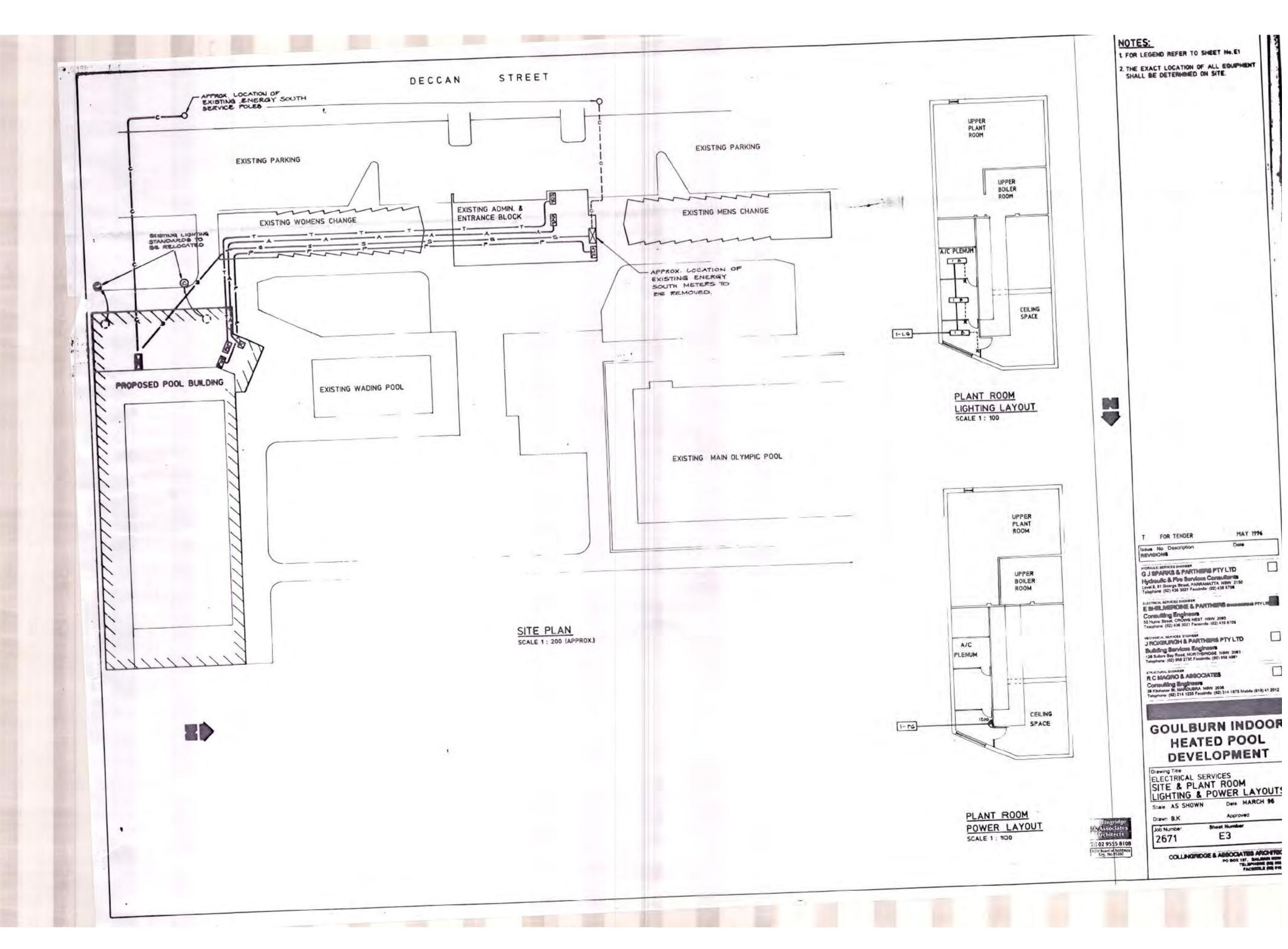
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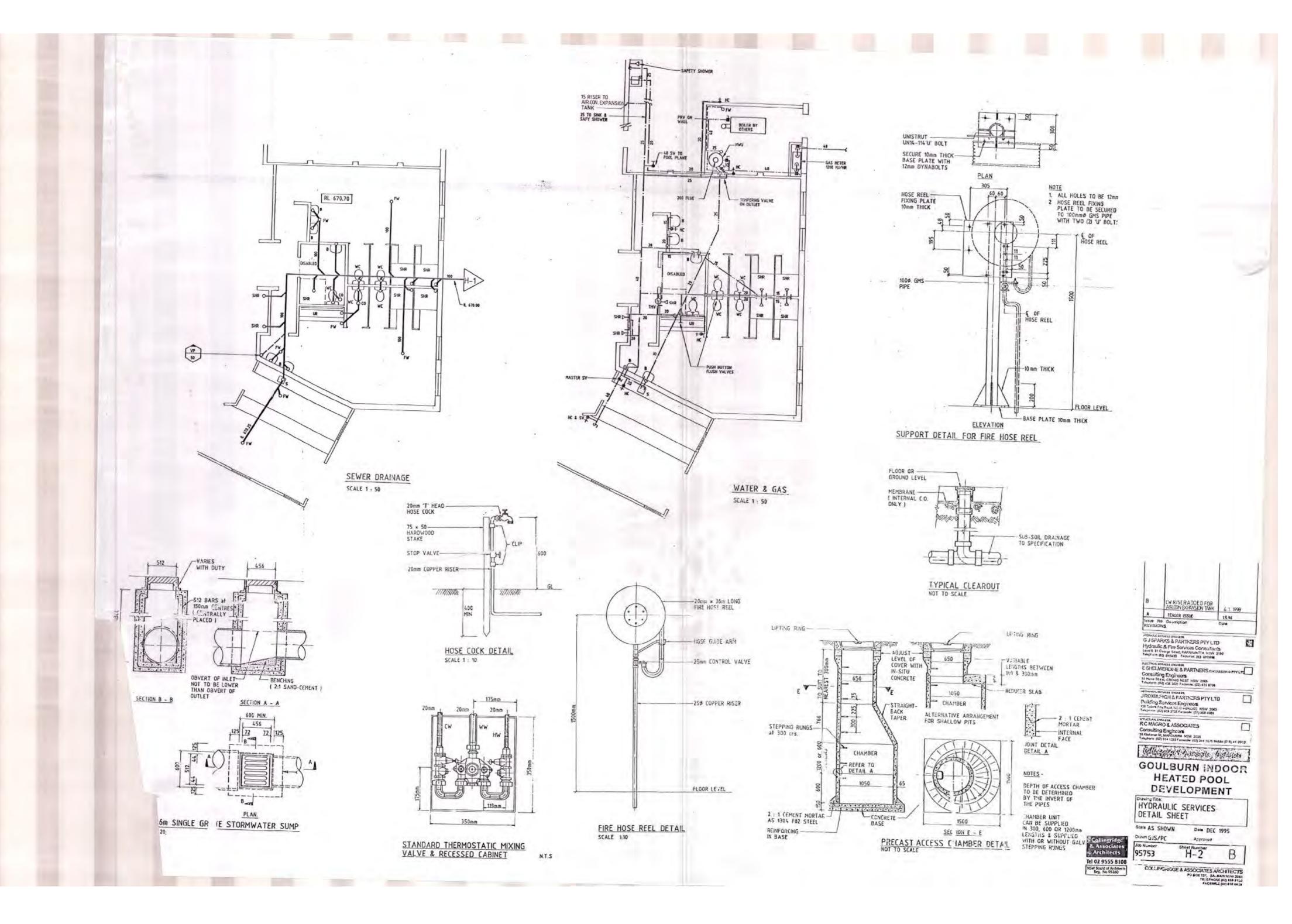
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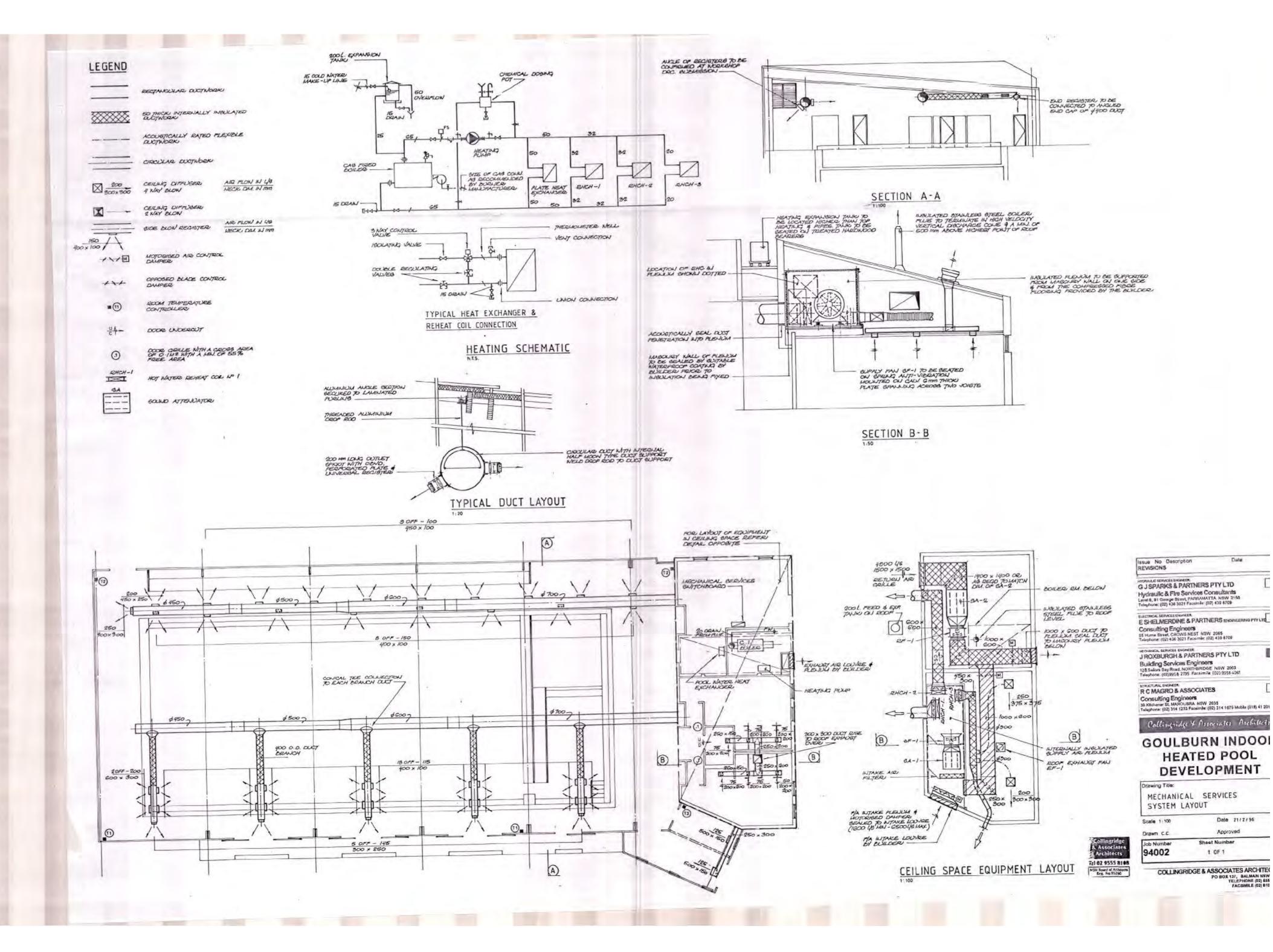
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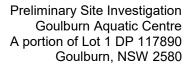
Date 21/2/96

Approved



Appendix D

Contaminated Land Register Search Results





A NSW EPA online search (http://epa.nsw.gov.au/prclmapp/searchresults) was undertaken on 15 September 2017. The results indicate two (2) registered contaminated land sites are recorded for the Goulburn Mulwaree Council area. A screenshot of the search results is shown below.

Search results

Your search for: LGA: Goulburn Mulwaree Council Matched 10 notices relating to 2

sites.

| | | - | |
|----------|-------------------|--------------------------|----------------------------|
| | | | Search Again Refine Search |
| Suburb | Address | Site Name | Notices related to |
| | | | this site |
| GOULBURN | 1 Blackshaw ROAD | Former Goulburn Gasworks | 3 current and 2 |
| | | | former |
| GOULBURN | 129 Lagoon STREET | Mobil Service Station | 2 current and 3 |
| | | | former |

Page 1 of 1

Client: Clarke Keller

15 September 2017



Robson Environmental P O Box 112 FYSHWICK ACT 2609

SECTION 149 (2) PLANNING CERTIFICATE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Receipt No.: 269495 Applicant's Reference: 10514 Council Reference: MK:JM

DESCRIPTION OF PROPERTY

Address: 85 Deccan Street GOULBURN NSW 2580

Legal Description: Lot 1 DP 117890 Parish Goulburn

At the date of this certificate the above mentioned land is affected by the following matters set out in Schedule 4 of the *Environmental Planning and Assessment Regulation 2000*.

1 Names of relevant planning instruments and DCP's

(1) The name of each environmental planning instrument that applies to the development on the land.

State Environmental Planning Policies (SEPP)

| SEPP No. 15 – Rural Landsharing Communities | SEPP No. 65 – Design Quality of Residential Flat Development |
|---|--|
| SEPP No. 21 – Caravan Parks | SEPP (Affordable Rental Housing) 2009 |
| SEPP No. 30 – Intensive Agriculture | SEPP (Building Sustainability Index: BASIX) 2004 |
| SEPP No. 32 – Urban Consolidation (Redevelopment of Urban Land) | SEPP (Exempt and Complying Development Codes) 2008 |
| SEPP No. 33 – Hazardous and Offensive Development | SEPP (Housing for Seniors or People with a Disability) 2004 |
| SEPP No. 36 – Manufactured Home Estates | SEPP (Infrastructure) 2007 |
| SEPP No. 44 – Koala Habitat Protection | SEPP (Major Development) 2005 |
| SEPP No. 50 – Canal Estate Development | SEPP (State & Regional Development) 2011 |
| SEPP No. 55 – Remediation of Land | SEPP (Rural Lands) 2008 |
| SEPP No. 62 – Sustainable Aquaculture | SEPP (Sydney Drinking Water Catchment) 2011 |
| SEPP No. 64 – Advertising and Signage | SEPP (Vegetation in Non-Rural Areas) 2017 |

Local Environmental Plan (LEP)

Goulburn Mulwaree Local Environmental Plan 2009

(2) The name of each proposed environmental planning instrument that will apply to the carrying out of development on the land and that is or has been the subject of community consultation or on public exhibition under the Act (unless Secretary has notified the Council that the making of the proposed instrument has been deferred indefinitely or has not been approved).

Draft Goulburn Mulwaree Local Environmental Plan 2009 (Amendment No 8)

Draft Goulburn Mulwaree Local Environmental Plan 2009 (Amendment No 9)

Draft Goulburn Mulwaree Local Environmental Plan 2009 (Amendment No 10)

(3) The name of each development control plan that applies to the carrying out of development on the land.

Goulburn Mulwaree Development Control Plan 2009

(4) In this clause, proposed environmental planning instruments includes a planning proposal for a LEP or a draft environmental planning instrument.

2 Zoning and land use under relevant LEP's

- (a) The identity of the zone is RE1 Public Recreation under the *Goulburn Mulwaree Local Environmental Plan 2009*.
- (b) The purposes for which the plan or instrument provides that development may be carried out within the zone without the need for development consent.
- (c) The purposes for which the plan or instrument provides that development may not be carried out within the zone except with development consent.
- (d) The purposes for which the plan or instrument provides that development is prohibited within the zone.

The answers for parts (b) to (d) are set out in the land use table below

Zone RE1 Public Recreation

1 Objectives of zone

- To enable land to be used for public open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.
- To protect and enhance the natural environment for recreational purposes.

2 Permitted without consent

Environmental facilities; Environmental protection works; Roads

3 Permitted with consent

Building identification signs; Camping grounds; Caravan parks; Child care centres; Community facilities; Emergency services facilities; Entertainment facilities; Information and education facilities; Kiosks; Markets; Recreation areas; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Respite day care centres; Water recreation structures

4 Prohibited

Any development not specified in item 2 or 3

(e) Whether any development standards applying to the land fix minimum land dimensions for the erection of a dwelling-house on the land and, if so, the minimum land dimensions so fixed.

No.

(f) Whether the land includes or comprises critical habitat.

No the land does not include or comprise critical habitat.

(g) Whether the land is located in a heritage conservation area.

The land is not within a heritage conservation area.

(h) Whether an item of environmental heritage is situated on the land.

An item of environmental heritage is situated on the land, refer to Clause 5.10 and Schedule 5 of *Goulburn Mulwaree Local Environmental Plan 2009*.

2A Zoning and land use under State Environmental Planning Policy (Sydney Region Growth Centres) 2006

Not applicable to the Goulburn Mulwaree Local Government Area.

3 Complying development

Whether or not the land to which the certificate relates is land on which complying development may be carried out under *State Environmental Planning Policy (Exempt and Complying Development Codes)* 2008?

Housing Code

No - complying development under the Housing Code cannot be undertaken on the land due to the zoning of the land

Rural Housing Code

No - complying development under the Rural Housing Code cannot be undertaken on the land due to the zoning of the land

Housing Alterations Code

No - complying development under the Housing Internal Alterations Code can not be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

General Development Code

No - complying development under the General Development Code can not be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Commercial and Industrial Alterations Code

No - complying development under the General Commercial and Industrial Alterations Code can not be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Commercial and Industrial (New Buildings and Additions) Code

No - complying development under the General Commercial and Industrial (New Buildings and Additions) Code cannot be carried out on the land due to the zoning of the land

Subdivisions Code

No - complying development under the Subdivisions Code can not be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Container Recycling Facilities Code

No - complying development under the Container Recycling Facilities Code cannot be carried out on the land due to the zoning of the land

Demolition Code

No - complying development under the Demolition Code can not be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Fire Safety Code

No - complying development under the Fire Safety Code can not be carried out on the land because the land is affected by the following exclusions:

The land contains or comprises a heritage item that is listed under an environmental planning instrument.

Note. If the land is a lot to which the Housing Code, Rural Housing Code, Housing Alterations Code, General Development Code, Commercial and Industrial Alterations Code or Commercial and Industrial (New Buildings and Additions) Code (within the meaning of the *State Environmental Planning Policy (Exempt and Complying Development Codes)* 2008 applies, complying development may be carried out on any part of the lot that is not affected by the provisions of Clause 1.19 of that Policy.

4 Coastal protection

Not applicable to the Goulburn Mulwaree Local Government Area.

4A Certain information relating to beaches and coasts

Not applicable to the Goulburn Mulwaree Local Government Area.

4B Annual charges under *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works

Not applicable to the Goulburn Mulwaree Local Government Area.

5 Mine subsidence

Whether or not the land is proclaimed to be a mine subsidence district within the meaning of section 15 of the *Mine Subsidence Compensation Act 1961*.

No.

6 Road widening and road realignment

Whether or not the land is affected by Road widening or road realignment under:

- (a) Division 2 of Part 3 of the Roads Act 1993; or
- (b) any environmental planning instrument; or
- (c) any resolution of the Council.

No.

7 Council and other public authority policies on hazard risk restrictions

Whether or not the land is affected by Policy:

- (a) adopted by the council, or
- (b) adopted by any other public authority,

that restricts development of the land because of the likelihood of land slip, bushfire, tidal inundation, subsidence, acid sulphate soils or any other risk (other than flooding)?

- (a) No.
- (b) No.

7A Flood related development controls information

(1) Whether or not development on the land or part of the land for the purpose of dwelling houses, dual occupancies, multi dwelling housing or residential flat buildings (not including development for the purpose of group homes or seniors housing) is subject to flood related development controls.

No.

(2) Whether or not development on that land or part of the land for any other purpose is subject to flood related development controls.

No.

8 Land reserved for acquisition

Whether or not any environmental planning instrument or proposed environmental planning instrument makes provision in relation to the acquisition of the land by a public authority, as referred to in section 27 of the Act?

No.

9 Contribution plans

The name of each contributions plan applying to the land.

Goulburn Mulwaree section 94 Development Contributions Plan 2009 and / or section 94A Development Contributions Plan 2009

The land may be affected by any of the following plans under section 64 of the Local Government Act 1993:

The land is not affected by any of the plans under section 64 of the Local Government Act 1993

9A Biodiversity certified land

If the land is biodiversity certified under Part 8 of the Biodiversity Conservation Act 2016, a statement to that effect.

No. Council is not aware that the land is biodiversity certified under Part 8 of the Biodiversity Conservation Act 2016.

Note. Biodiversity certified land includes land certified under Part 7AA of the *Threatened Species Conservation Act 1995 that is taken to be certified under* Part 8 of the *Biodiversity Conservation Act 2016.*

10 Biodiversity stewardship sites

If the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the *Biodiversity Conservation Act 2016*, a statement to the effect (but only if the council has been notified of the existence of the agreement by the Chief Executive of the Office of Environment and Heritage).

No. Council is not aware of a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the *Biodiversity Conservation Act 2016*, relating to the land.

Note. Biodiversity stewardship agreements include biobanking agreements under Part 7A of the *Threatened Species Conservation Act 1995* that are taken to be biodiversity stewardship agreements under Part 5 of the *biodiversity Conservation Act 2016*.

10A Native vegetation clearing set asides

If the land contains a set aside area under section 60ZC of the Local Land Services Act 2013, a statement to that effect (but only if the council has been notified of the existence of the set aside area by the Local Land Services or it is registered in the public register under that section.

No. The land does not contain a set aside area under section 602C of the Local Land Services Act 2013.

11 Bush fire prone land

Whether or not some or all of the land is bush fire prone land.

The land or part of the land is not bush fire prone land.

12 Property vegetation plans

If the land is land to which a property vegetation plan under the *Native Vegetation Act 2003* applies, a statement to that effect (but only if the council has been notified of the existence of the plan by the person or body that approved the plan under that Act).

Council is not aware of a property vegetation plan under the Native Vegetation Act 2003 relating to the land.

13 Orders under Trees (Disputes Between Neighbours) Act 2006

Whether an order under the *Trees (Disputes Between Neighbours) Act 2006* has been made to carry out work in relation to a tree on the land (but only if Council has been notified of the order)?

No, an order under the Trees (Disputes Between Neighbours) Act 2006 has not been made.

14 Directions under Part 3A

Whether there is a direction by the Minister in force under section 75P (2) (c1) of the Act.

No direction is in force.

15 Site compatibility certificates and conditions for seniors housing

If the land is land to which State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 applies:

(a) Whether or not Council is aware of a current site compatibility certificate (seniors housing), in respect of the proposed development on the land.

Council is not aware of any current site compatibility certificates (seniors housing) in respect of proposed development on the land.

(b) Whether or not any terms of a kind referred to in clause 18 (2) of that Policy that have been imposed as a condition of consent to a development application granted after October 2007 in respect of the land.

No terms referred to in clause 18(2) of *State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004* have been imposed as conditions of consent to a development application for the land granted after 11 October 2007.

16 Site compatibility certificates for infrastructure

Whether or not Council is aware of a valid site compatibility certificate in respect of proposed development on the land.

Council is not aware of any valid site compatibility certificate (affordable rental housing) in respect of proposed development on the land.

17 Site compatibility certificates and conditions for affordable rental housing

(1) Whether or not Council is aware of a current site compatibility certificate (affordable rental housing) in respect of proposed development on the land.

Council is not aware of any current site compatibility certificate (affordable rental housing) in respect of proposed development on the land.

(2) Whether or not any terms of a kind referred to in clause 17 (1) or 38 (1) of *State Environmental Planning Policy (Affordable Rental Housing)* 2009 that have been imposed as a condition of consent to a development application in respect of the land.

No terms referred to in clause 17(1) or 37(1) of *State Environmental Planning Policy (Affordable Rental Housing)* 2009 have been imposed as conditions of consent to a development application in respect of the land.

18 Paper subdivision information

- (1) The name of any development plan adopted by a relevant authority that applies to the land or that is proposed to be subject to a consent ballot.
- (2) The date of any subdivision order that applies to the land.
- (3) Words and expressions used in this clause have the same meaning as they have in Part 16C of Environmental Planning and Assessment Regulation 2000.

Not applicable.

19 Site verification certificates

Whether or not Council is aware of a current site verification certificate, in respect of the land.

Council is not aware of a current site verification certificate in respect of the land.

20 Loose-fill asbestos insulation

Whether or not the land includes any residential premises (as defined in Division 1A of Part 8 of the *Home Building Act 1989*) that are listed on a register of residential premises that contain or have contained loose-fill asbestos insulation.

No the land has not been identified in the Loose-Fill Asbestos Insulation Register as containing loose-fill asbestos ceiling insulation.

Additional Matters

Note. The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

(a) Whether or not the land to which the certificate relates is significantly contaminated land within the meaning of that Act.

The land is not significantly contaminated as at the date this certificate is issued.

(b) Whether or not the land to which the certificate relates is subject to a management order within the meaning of that Act.

The land is not subject to a management order as at the date this certificate is issued.

(c) Whether or not the land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of the Act.

The land is not the subject of an approved voluntary management proposal as at the date this certificate is issued.

(d) Whether or not the land to which this certificate relates is subject to an ongoing maintenance order within the meaning of that Act.

The land is not subject to an ongoing maintenance order as at the date this certificate is issued.

(e) Whether or not the land to which the certificate relates is the subject of a site audit statement within the meaning of that Act – if a copy of such statement has been provided at any time to the local authority issuing the certificate.

The land is not the subject of a site audit statement as at the date this certificate is issued.

Legislation and Environmental Planning Instruments including *Goulburn Mulwaree Local Environmental Plan* 2009 and the *Standard Instrument (Local Environmental Plans)* Order 2006 can be found at www.legislation.nsw.gov.au

Date of Certificate 11 September 2017 for Warwick Bennett General Manager Goulburn Mulwaree Council



Appendix E

Dangerous Substances and Trade Waste License Search Results



Locked Bag 2906, Lisarow NSW 2252
Customer Experience 13 10 50
ABN 81 913 830 179 | www.safework.nsw.gov.au

Our Ref: D17/208483 Your Ref: Danica Tagaza 12 September 2017

Attention: Danica Tagaza Robson Environmental Pty Ltd Unit 1 140 Gladstone St Fyshwick ACT 2609

Dear Ms Tagaza

RE SITE: 85 Deccan St Goulburn NSW

I refer to your site search request received by SafeWork NSW on 5 September 2017 requesting information on Storage of Hazardous Chemicals for the above site.

Enclosed are copies of the documents that SafeWork NSW holds on record number 35/020219 relating to the storage of Hazardous Chemicals at the above-mentioned premises.

For further information or if you have any questions, please call us on 13 10 50 or email licensing@safework.nsw.gov.au

Yours sincerely

Customer Service Officer Customer Experience - Operations SafeWork NSW Jones, Brent

From:

Simpson, John

Sent:

Tuesday, 13 April 2010 3:26 PM

To:

Jones, Brent

Subject: FW: Goulburn Aquatic Centre chlorine storage [Scanned]

Hi Brent

This information is relevant to DG 35/020219 - a long 'Expired' site - I expect it will allow you to change status to 'Closed'.

Regards

John Simpson

Senior Inspector

Dangerous Goods

Chemicals Team

Parramatta Office

Phone 9841 8427

Fax 9271 6027

Email - john.simpson@workcover.nsw.gov.au

From: Andrew Galland [mailto:Andrew.Galland@goulburn.nsw.gov.au]

Sent: Friday, 9 April 2010 11:16 AM

To: Simpson, John **Cc:** David Gustafson

Subject: Goulburn Aquatic Centre chlorine storage [Scanned]

John, In reference to yesterday's phone conversation regarding storage of Chlorine at the Goulburn Aquatic Centre.

The Aquatic Centre no longer utilises chlorine gas in the treatment of its water. Chlorine pellets are now.

These pellets are stored in a locked bunded storage area in the outdoor pool plant room with accompanying MSDS documentation. At most there are three pallets of chlorine pellets stored on site.

A pallet consists of 24 x 20kg buckets = 480kg

When 3 pallets are present there is a total weight of 1,440T of chlorine pellets on site

Group II

Class 5.1

I hope that this helps.

If you have any further enquiries you can contact me on the number provided below.

Regards NSW ABN 77 682 742 966 92-100 Donnison Street Gosford NSW 2250 Locked Bag 2906 Lisarow NSW 2252 Telephone 02 4321 5000 Facsimile 02 4325 4145 WorkCover Assistance Service 13 10 50 DX 731 Sydney Website www.workcover.nsw.gov.au

19/04/2010 000/00477 (860



Reference

DX 13067, MARKET ST. SYDNEY

APPLICATION FOR RENEWAL

OF LICENCE TO KEEP DANGEROUS GOODS

ISSUED UNDER AND SUBJECT TO THE PROVISIONS OF THE DANGEROUS GOODS ACT, 1975 AND REGULATION THEREUNDER

DECLARATION:

Please renew licence number 35/020219 to 1999. I confirm that all the licence details shown below are correct (amend if necessary).

gRC-1111

JOHN CAMPBELL

26 . 3 . 98

(Signature)

(Please print name)

(Date signed)

for: GOULBURN CITY COUNCIL

THIS SIGNED DECLARATION SHOULD BE RETURNED TO:

WorkCover New South Wales

Dangerous Goods Licensing Section (Level 3)

Locked Bag 10

P O CLARENCE STREET 2000

Enquiries: ph (02) 9370 5187 fax (02) 9370 6105

3 D MAR 1998

Details of licence on 12 March 1998

Licence Number 35/020219

Expiry Date 30/04/98

Licensee

GOULBURN CITY COUNCIL

LOCKED MAIL BACCESTIFIC SERVICES

Postal Address BOX 725 PO, GOULBURN 2580

Licensee Contact JOHN CAMPBELL Ph. 048 230490 Fax. 048 230456 SOMIN SPOTSWIP CONTACT OF THE PROPERTY OF THE PR

Premises Licensed to Keep Dangerous Goods

85 DECCAN ST

GOULBURN 2580

-02 48230401

Nature of Site SPORT & RECREATION NEC Major Supplier of Dangerous Goods ORICA

Emergency Contact for this Site DAVID GUSTAFSON ph. 048 225 522

Site staffing 24 HRS 7 DAYS

0248211747

Details of Depots

Depot No. Depot Type

Goods Stored in Depot

Qty

6a

ROOFED STORE

Class 2.3 UN 1017 CHLORINE 2000 kg 2000 kg

6b

Exempt - Storage area

Class 8

200 L

UN 1789 HYDROCHLORIC ACID SOLU

100 L



13. Signature of applicant



LICENCE TO KEEP DANGEROUS GOODS

(Dangerous Goods Act 1975)

1 1

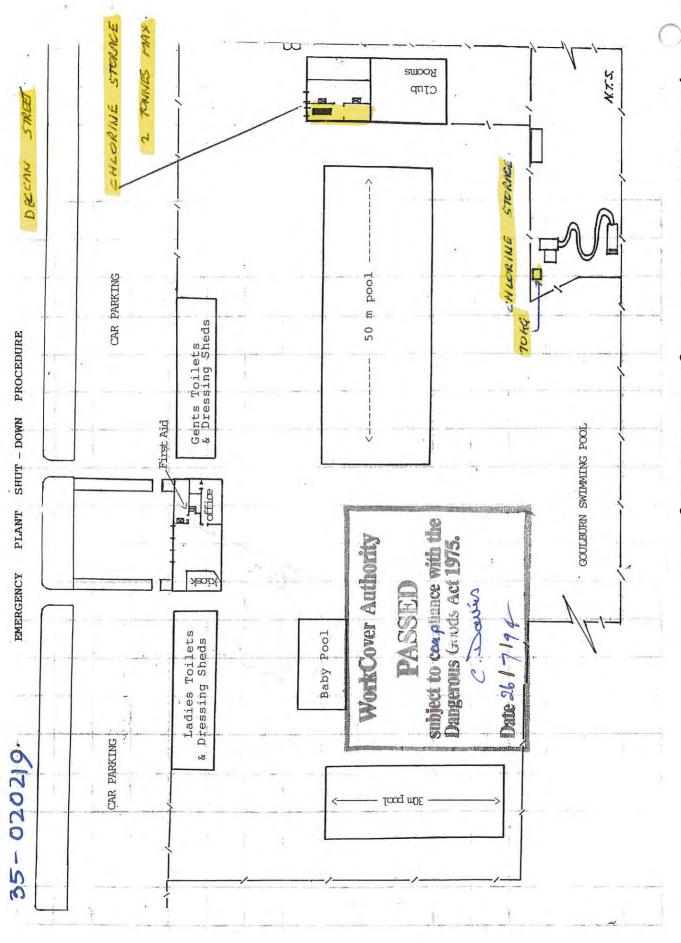
| Name of applicant | ACN | |
|---|-----------------------|---------------|
| GOULBURN CITY COUNCIL | | |
| Site to be licensed No Street | | |
| 85 DECCAN STREET | | |
| Suburb/Town | Postcode | |
| GOULBURN | 2580 | |
| Previous licence number (if known) 35 0202 Nature of site SWIMMING POOL - RECREATION AR | N/Q MH | |
| . Emergency contact on site: | | |
| Phone Name | | |
| (048) 21-3245 AVID GUSTAFSON | 1-POOL SUPERINTENDENT | 4 |
| 7. Major supplier of dangerous goods ICI AUSTRALIA B. If new site or significant modification Plan stamped by: Accredited consultant's name: | 14 OCT 1994 | stamped |
| | | |
| 9. Number of dangerous goods depots at site 1 | | |
| 10.Trading name or occupier's name 600LBURN_CITY_COUNCIL | Outsuch /Tours | Poetcode |
| 0.Trading name or occupier's name | Suburb/Town | Postcode |
| 0.Trading name or occupier's name 60ULBURN CITY COUNCIL | Suburb/Town GOULBURN | Postcode 2580 |

Date

JRCXIII TR CAMPBELL

Site Sketch

Please carefully read the instructions in Part B of the guide before sketching the site.



have more depots than the space provided, photocopy sufficient sheets first.

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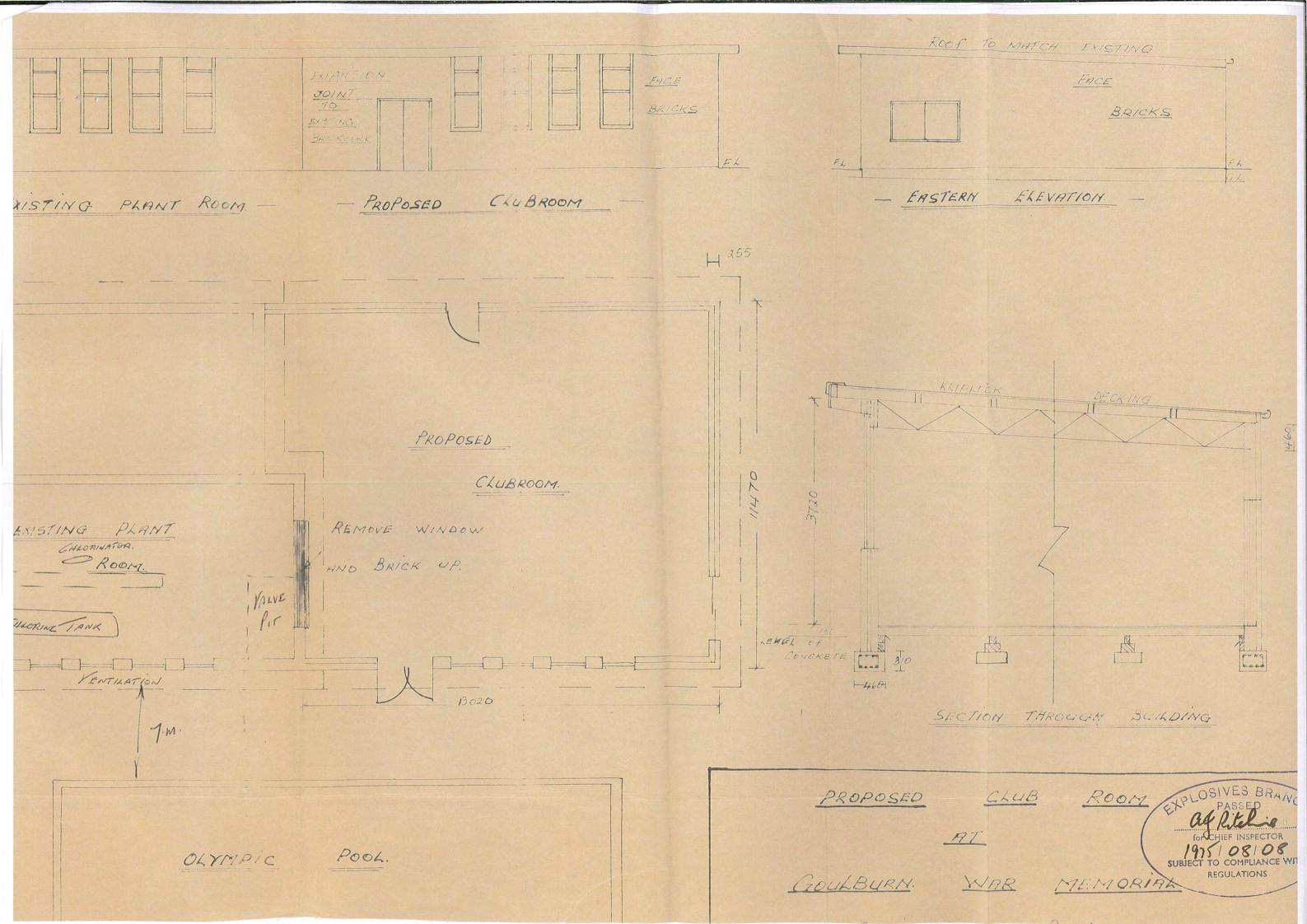
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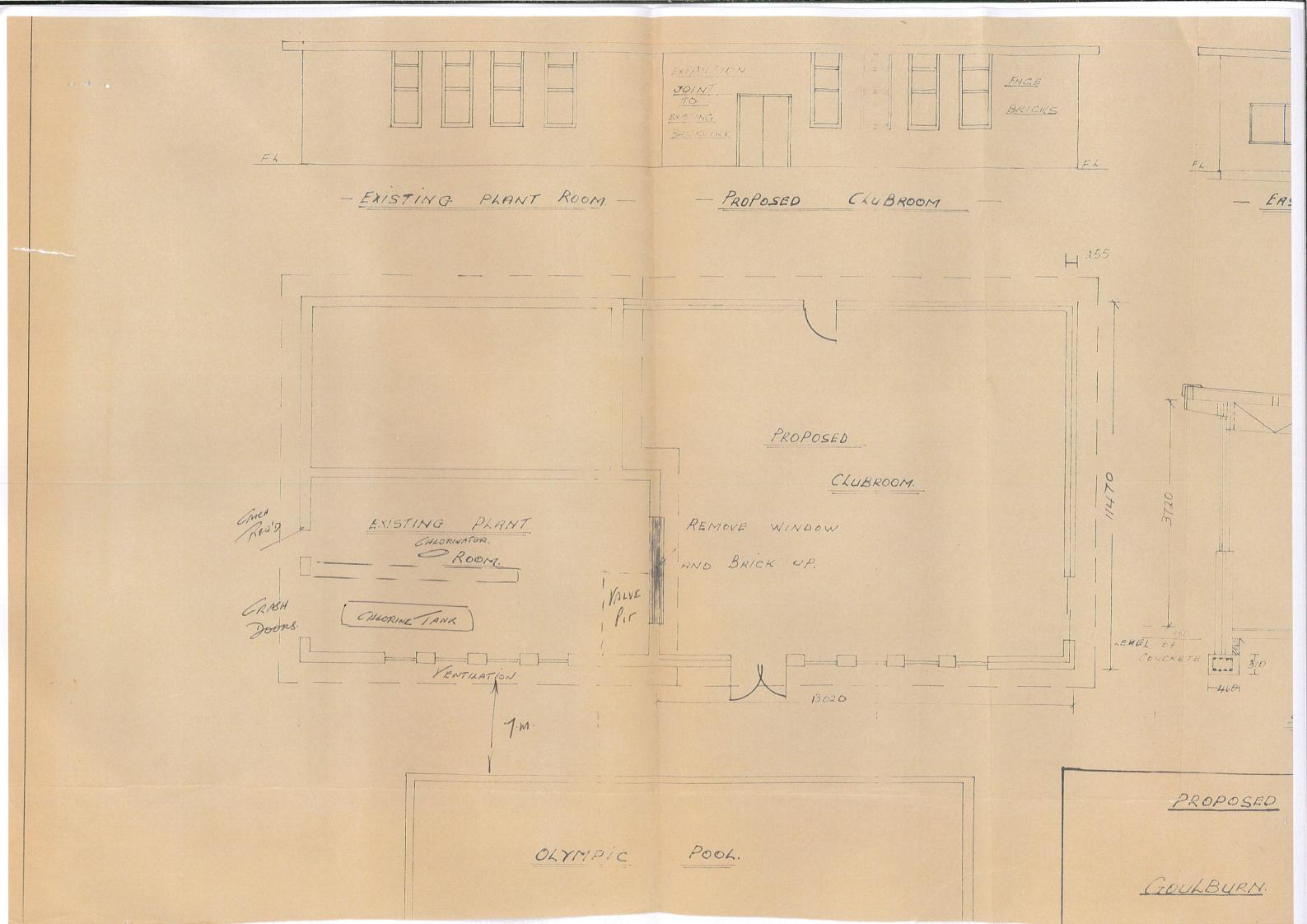
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| Trading name o name (if any) | | | AS ABOVE | | | |
| Postal address | | P.O. Box | 164, Town Hall, Go | oulburn. | Postcode | 2580 |
| Telephone num | ber of applicant | STD Code | 048 | Number | 21-1444 | |
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Appendix F

Dial Before You Dig Search Results



Job No 12896279

Phone: 1100 www.1100.com.au

Caller Details

Contact:Miss Danica TagazaCaller Id:1565728Phone:0261714626Company:Robson EnvironmentalMobile:Not SuppliedFax:Not Supplied

Address: 1/140 Gladstone Street Email: danica@robsonenviro.com.au

Fyshwick ACT 2609

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



Notes/Description of Works:

Not Supplied

User Reference: 10514
Working on Behalf of:

Private

Enquiry Date: Start Date: End Date: 05/09/2017 08/09/2017 08/09/2017

Address: Deccan Street Goulburn NSW 2580

Job Purpose: Excavation

Onsite Activity: Mechanical Excavation

Location of Workplace: Both

Location in Road: CarriageWay,Footpath,Nature Strip

- Check that the location of the dig site is correct. If not you must submit a new enquiry.
- Should the scope of works change, or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility.
 If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Your Responsibilities and Duty of Care

- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at www.1100.com.au
- For more information on safe excavation practices, visit www.1100.com.au

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

- ** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.
- # Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.

| Seq. No. | Authority Name | Phone | Status |
|----------|--------------------|------------|----------|
| 64209749 | Essential Energy | 132391 | NOTIFIED |
| 64209751 | Jemena Gas Country | 1300880906 | NOTIFIED |
| 64209752 | NBN Co, NswAct | 1800626762 | NOTIFIED |
| 64209750 | Telstra NSW, South | 1800653935 | NOTIFIED |

END OF UTILITIES LIST



CABLE/PIPE LOCATION

Assets were found in the search area

| COMPANY NAME: | Robson Environmental |
|------------------|------------------------------------|
| ATTENTION: | Miss Danica Tagaza |
| EMAIL: | danica@robsonenviro.com.au |
| SEARCH LOCATION: | Deccan Street Goulburn NSW 2580 |
| SEQUENCE NO: | 64209749 |
| DATE: | Tuesday, 5 September 2017 |

Provision of Plans:

Please find enclosed plans depicting approximate locations of **Essential Energy** assets in the search location. The excavator must not assume that there may not be assets owned by <u>other</u> network operators in the search location.

| Underground assets searched for | Underground assets found |
|-----------------------------------|--------------------------|
| Essential Energy Electrical | V |
| Essential Energy Water & Sewerage | |

Plans are updated from time to time to record changes to underground assets and may be updated by Essential Energy without notice. In the event that excavation does not commence within 28 days of receipt of a plan, a new plan should be obtained.

The excavator must retain the plans on site for the duration of the works.

The excavator shall report all damage made to Essential Energy assets immediately. Note that damage includes gouges, dents, holes and gas escapes.

IN CASE OF EMERGENCY OR TO REPORT DAMAGE: PHONE 13 20 80

DISCLAIMER

Please be aware that plans may **not** reflect alterations to surface levels or the position of roads, buildings, fences etc. **Cable and pipe locations are approximate** and the plans are **not** suitable for scaling purposes. *Essential Energy does not retain plans for privately-owned underground electrical or water* & sewerage assets located on private property. <u>Privately-owned underground electrical assets located on private property are the responsibility of the owner.</u>

The plans have been prepared for Essential Energy's sole use and benefit. **Essential Energy cannot and does not warrant the accuracy or completeness of the plans**. Essential Energy supplies them at no cost with the object of reducing the serious risk of unintentional damage being caused to its cables and pipes. **Essential Energy does not accept any responsibility for any omissions, inaccuracies or errors in the plans, or any reliance place on the material. Any reliance placed on any plan provided in response to your request is at your own risk.**



Essential Energy retains all intellectual and industrial property rights which exists or may exist in or with respect to the plan(s). The material provided is not to be copies or distributed beyond you.

You release Essential Energy from and against all claims, demands, actions and proceedings arising out of or in any way related to the use of the provided material.

Location of Assets on Site:

The plans indicate only that cables and pipes may exist in the general vicinity – they do not pinpoint the exact location of the cables and pipes.

If it is found that the location of cables or pipes on the plans can be improved, please notify Essential Energy on 13 23 91 (or fax 1800 354 636).

All individuals have a duty of care they must observe when working in the vicinity of underground cables and pipes. It is the excavator's responsibility to visually expose the underground cables and pipes manually, ie. by using hand-held tools and non-destructive pot-holing techniques prior to any mechanical excavation. The excavator will be held responsible for all damage caused to the Essential Energy network or cables and pipes, and for the costs associated with the repair of any such damage. The excavator will also be held responsible for all damage caused to any persons.

When digging in the vicinity of underground assets, persons should observe the requirements of the applicable Codes of Practice published by the NSW Work Cover Authority or Safe Work Australia, and any amendments from time to time by the Authorities, including although not limited to:

- Excavation Work
- Managing Electrical Risks in the workplace
- How to manage and control asbestos in the workplace

(Please refer to https://www.workcover.nsw.gov.au/law-and-policy/legislation-and-codes/codes-of-practice).

When digging in the vicinity of **electrical assets** persons should observe the requirements of the **Electricity Supply Act 1995**.

Persons excavating near live underground electrical reticulation and/or earthing cables **must exercise extreme** caution at all times and adhere to the requirements of Essential Energy's Electrical Safety Rules. (These are available on our website: http://www.essentialenergy.com.au/content/safety-community and include

- Work near Essential Energy's Underground Assets:
 - http://www.essentialenergy.com.au/asset/cms/pdf/contestableWorks/CEOP8041.pdf, and
- Asbestos Fact Sheet:

http://www.essentialenergy.com.au/asset/cms/pdf/safety/AsbestosFactSheet.pdf

In some situations these procedures call for work to be performed by authorised staff. Should there be any doubt as to the exact location of any underground electrical assets, and the potential for conflict with live underground cables caused by excavation at your work site, you should contact 13 23 91 to arrange for an on-site visit by an Essential Energy representative. No construction or mechanical excavation work is to commence prior to this on-site visit and approval being obtained.

When digging in the vicinity of water or sewer assets persons should observe the requirements of the Water Management Act 2000.

Should there be any doubt as to the exact location of any underground water and sewer assets, and the potential for conflict with underground water and sewer pipes caused by excavation at your work site, you should contact 13 23 91 to arrange for an on-site visit. No construction or excavation work is to commence prior to this on-site visit and approval being obtained.

Prior Notification:

Please note that for excavation depths greater than 250mm near power poles and stays you should allow for advance notice in your construction program to permit Essential Energy time to allocate the necessary field resources to carry out the inspection at the site a minimum of fourteen (14) working days prior to work commencing. This service may incur a fee and this can be negotiated with the local Area Coordinator at the time of making the appointment. Failure to give reasonable notice to the local Area Coordinator may result in disruption to Essential Energy's planned works program in the district and could incur an extra charge over and above the normal rate for this service.

For further information please call 13 23 91.



Date: Tuesday, 5 September 2017

To: Miss Danica Tagaza

Company: Robson Environmental

Address: 1/140 Gladstone Street Fyshwick ACT 2609

Email: danica@robsonenviro.com.au

Fax: Not Supplied

ELECTRICAL CABLE LOCATION

Dear Miss Danica Tagaza

With reference to your enquiry:

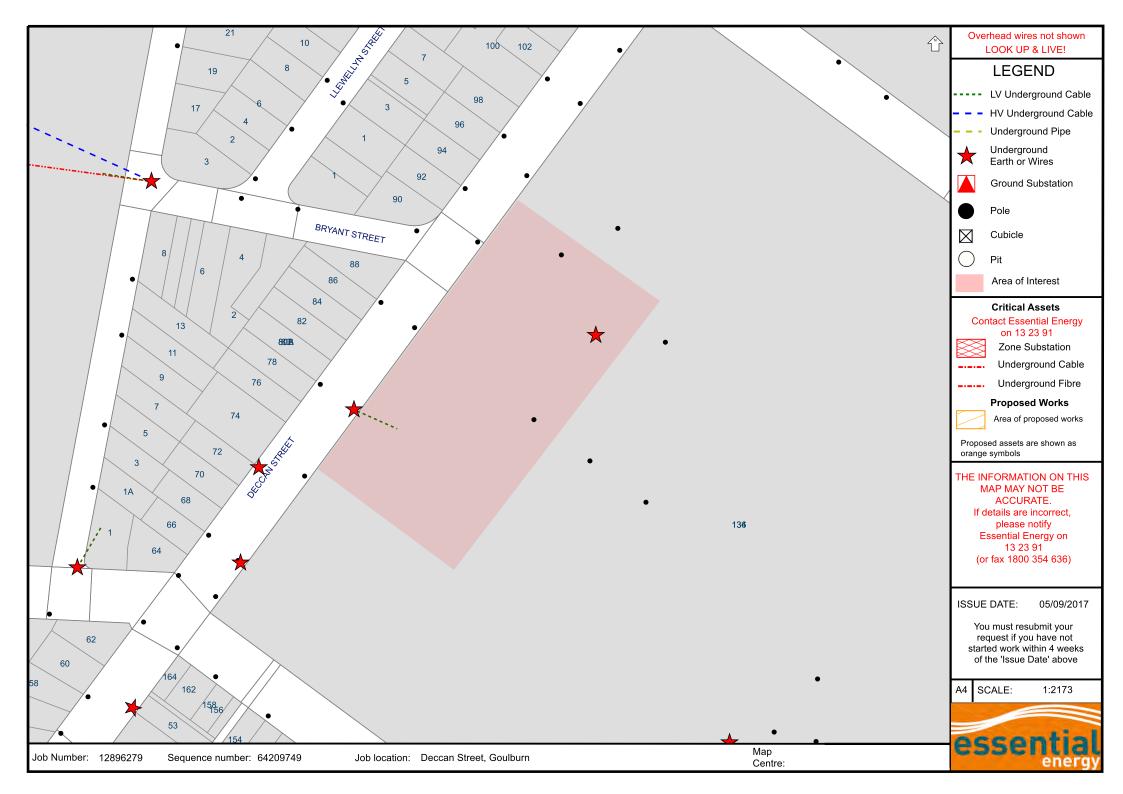
Location: Deccan Street Goulburn NSW 2580

Sequence No: 64209749

Dial Before You Dig Job No: 12896279
 Dial Before You Dig Customer No: 1565728



CRITICAL UNDERGROUND ASSETS IN AREA – DO NOT COMMENCE EXCAVATION BEFORE CALLING TECHNICAL ENQUIRIES ON 13 23 91.





ELECTRICITY SAFETY WHILE EXCAVATING

When working near underground electrical infrastructure

NSW legislation requires people who are planning to do excavation work to obtain copies of underground electricity cable plans through Dial Before you Dig (Phone 1100) and to make sure that the plans are no more than 30 days old when excavation commences.

The aim of the legislation is to ensure that when workers dig or drive items near underground electricity cables, ducting, and pipes, they will establish the exact location of the cables and thus avoid coming into contact with them or damaging them. These items carry vital services such as electricity, water, gas and communications, and establishing their location before digging will help ensure worker safety and prevent damage to the network which may cause disruption of essential services to local communities.

Excavate safely and protect underground assets

Dial Before You Dig (DBYD) is the first step to excavating safely. You should use DBYD when you will be undertaking (but not restricted to) the following:

- Any excavation using machinery digging deeper than 150mm. This includes but is not restricted to back hoes, excavators, borers & kanger hammers (ploughing or ripping activities)
- Any excavation using hand tools deeper than 300mm which includes shovels, spades and crow bars
- > Any vertical or horizontal boring.

Note: The above examples are general and may not cover all situations in the regulations where a DBYD would be required e.g. driving metal posts in the ground.

Regardless of the size of your project you should lodge an enquiry with DBYD before commencing work. This applies to small tasks like backyard landscaping, driving items into the ground as well as heavy work such as directional boring or directional drilling. DBYD strive to respond to enquiries within two business days.

Dial Before You Dig

- > Phone 1100
- > Web www.1100.com.au
- > Download the DBYD iPhone app



When a DBYD has been obtained, contact Essential Energy on **13 23 91** to identify any underground pipes and/or cables in the vicinity of excavation works to be carried out. Allow at least **two weeks or 10 working days advance notice** in your construction program to permit Essential Energy time to allocate the necessary field resources to carry out an onsite inspection if required. This service may incur a fee & should be stated at the time of making the appointment.

In the event the excavation does not commence within 28 days of receipt of a plan, a new plan should be obtained. The excavator **must** retain the plans on site for the duration of the excavation works.

Your responsibility

All individuals have a duty of care they must observe when working in the vicinity of underground cables, ducts and pipes. Be aware of the requirement set out in the latest WorkCover Codes of Practice 'Work near Underground Assets Guideline' and 'Work near Overhead Powerlines' which can be viewed at www.workcover.nsw.gov.au or you can purchase a copy of the Code of Practice by contacting WorkCover on 1300 799 003.

You should also be familiar with Essential Energy's operational procedures 'Work near Essential Energy's underground assets' CEOP8041 and 'Construction work near electricity network' CEOP1116, which can be found at essentialenergy.com.au/construction

- Employers: If you're an employer or employing someone to excavate, complete construction or drive items into the ground even at home you have a legal obligation to ensure their safety
- Excavators: It is the excavator's responsibility to visually expose the underground pipes and cables manually before any construction begins.

Note – when excavating involving high pressure water or compressed air to break up the ground, which is then removed by a powerful vacuum unit to expose critical utilities after they have been electronically located to confirm identity, size, number of services and depth, checks should be carried out to ensure the pressure is acceptable for all cables and other assets which may be found prior to commencing pot holing by this method. Warning: CONSAC cables shouldn't be potholed by this method and must be de-energised before any work carried out near them. It's recommended to only use air/vacuum equipment to pot hole that operates at or less than 13,790Kpa (2000psi).



TABLE 1: Types of assets and limits of underground approach

| Assets | Clearances | No Go Zone for Powered Excavation | Controls | Typical Depths |
|--|--|---|--|----------------|
| Low voltage electricity cables – voltages less than or equal to 1000V (1kV) | Close proximity with the use of hand tools | 300 mm | Must contact asset owner for specific conditions | 450 - 750 mm |
| Electricity conductors from 11,000V (11kV) up to 33,000V (33 kV) | Close proximity with the use of hand tools | 600 mm | Must contact asset owner for specific conditions | 900 mm |
| Underground sub-transmission cables 33,000V up to 132,000V (132 kV) | Must contact asset owner | Must contact asset owner | Must be carried out under the supervision of the asset owner | 900 mm |
| High Voltage Electricity cables – voltages from 1000V (1kV) up to (33 kV) | Close proximity with the use of hand tools | Must contact asset owner | Must contact asset owner for specific conditions | 600 – 1000 mm |
| Extra High Voltage Electricity Transmission cables – voltages above (132 kV) and 330,000V (330 kV) | Must contact asset owner | Must contact asset owner | Work must be carried out under the supervision of the asset owner | 800 - 1200 mm |

How to expose cables or pipes

Location plans provide an indication of the presence of underground assets only; they do not pinpoint the exact location. This is why manual exposure is required, which can be done by potholing. Underground assets must first be exposed by pot-holing with non-conductive tools to identify their location. Excavation with hand tools shall be carried out carefully up to, but not closer than, the minimum distances specified in Table 1. Several potholes may need to be dug manually to determine and satisfy yourself of the exact locations of cables or pipes to avoid any mishaps. Manual pot-holing needs to be undertaken with extreme care, common sense and while employing techniques least likely to damage cables. For example, orientate shovel blades and trowels parallel to the cable rather than digging across the cable. Look out for sand, plastic strips or specially marked bricks when excavating, which signal the presence of underground cables.

Only once all underground assets have been located, marked and protected against damage can the excavation proceed with caution.

No Go Zone for powered excavation

Directional boring is powered excavation and contact with the asset owner must be made before excavation takes place. For directional boring across the line of an asset a minimum clearance of **300 mm** from the asset shall be maintained. When boring across the line of an underground asset, the location of the asset/s shall be positively proven by hand digging (pot-holing) or by another approved method and a safety observer appointed.

Note: Where the risk assessment identifies a potential risk of making contact with either underground assets, safety observer/s would be required. The safety observer's

responsibility is to ensure that approach distances from underground and overhead assets are maintained.

For boring under electricity cables, the only true way of knowing where the directional drill is, is to "see" it. It is necessary to excavate a slit trench at right angles to the approaching drill and 500mm deeper than the asset being protected and beside the cables to confirm the depth of the cables and ensure the drill is not within the minimum approach distance of the cable (specified in Table 1).

For directional boring parallel to the asset and at the level of the asset, a clearance of **500 mm** shall be maintained from the edge of the nearest asset and pot holed at **10m** intervals to ensure clearances are maintained with a safety observer appointed.

The four Ps of safe excavation

- Plan Plan your job. Use the Dial Before You Dig service before your job is due to begin to help keep your project safe. Contact Essential Energy on 13 23 91 to identify any underground pipes and/or cables in the vicinity
- Pothole Potholing (digging by hand) is a method to assist in establishing the exact location of all underground infrastructure. Only use air/vacuum equipment to pot hole that operates at or less than 13,790Kpa (2000psi)
- 3. Protect Protecting and supporting exposed infrastructure is the excavator's responsibility. Always erect safety barriers in areas at risk to protect underground networks
- Proceed But ONLY when you have <u>planned</u>, <u>potholed</u> and put the <u>protective</u> measures in place.

Be safe, because they need you



Digging safely

You cannot be too careful when it comes to safe excavation. Avoiding underground ducting pipe and cable damage is as simple as having the right tools, the right skills and the right information.

- Study the plans you receive from asset owners thoroughly
- Check to see if they relate to the area you requested and make sure you understand them. If you are unclear about what the symbols mean or how to proceed, contact the relevant network owner
- Check the work area for other forms of electrical equipment, including street lights, ground substations, phone boxes or traffic lights – all good indicators that underground cables will be present
- Remember underground cables can also be present even if overhead powerlines have been identified
- Never assume the depth or alignment of pipes and cables. Installed networks assets may not have been installed in a straight line
- Always observe any instructions stated on the plans provided by the asset owner
- Remember, plans and maps identifying the location of underground cables and depths can alter after road upgrades or developments and underground assets may be as little as a few millimetres below the surface
- Other service lines (for example gas mains (pipes) and communication cables) can also be present.
 Shared trenches are frequently used on underground runs to premises
- New electrical cables are sometimes laid using existing old conduits
- Various methods of protecting underground cables may be utilised (for example electrical bricks, conduits, concrete or flat PVC barriers) or may be direct buried or installed by under-boring methods which may have no visual disturbance of the ground
- Ensure overhead & electrical structures aren't undermined during excavation.

Earth cables

Earth cables are an important part of all electrical installations and have two main purposes:

- > To safeguard against the possibility of danger to life
- To maintain the good working order of the electrical network.

They can have potentially dangerous electrical current flowing through them. Usually they have a green and yellow covering but could be a bare cable buried directly in the ground.

Even if the map provided does not show underground cables, earth cables may be present. These earth cables are usually associated with electrical equipment located

on the pole such as transformers, switching equipment, permanent earthing points or Padmount / kiosk subs.

It's recommended that if any excavation is to take place within **10m** of a power pole with a cable running down it into the ground, contact is made with Essential Energy on **13 23 91** to have the earthing system located. While an effort is made to install the earthing under the powerline and guy if installed, sometimes circumstances may require a variation to this, so done assume where they are installed. The distance and configuration that the earthing cable is installed varies due to the soil conditions and system type (e.g. Single wire earth return (SWER)).

Additional earthing electrodes stakes may be installed to ensure the required earthing reading is obtained.

WARNING:SWER installations

- > Contacting SWER earthing can be deadly
- Voltage is present on SWER transformer earthing systems either at 12.7 kV or 19.1kV
- > NO excavation is allowed within 10 metres of a SWER transformer pole.

Excavating around electrical poles

Anyone intending to excavate around any electrical item risks serious injury or death as a result of contact with underground cables or the earthing system.

Assets around poles

For excavation depths greater than 250mm near power poles and stays you must arrange for an Essential Energy representative to attend the worksite 2 weeks prior to work commencing. Call Essential Energy on 13 23 91. More information is available in Essential Energy's operational procedure, 'Work near Essential Energy's underground assets: CEOP8041' which can be found at essentialenergy.com.au/construction

Unless otherwise agreed, underground assets and other obstructions around poles are to be kept a minimum distance of 300mm from the periphery of the pole, to allow inspections by the asset owner employees.

No excavation within 10 metres of a SWER transformer pole is to occur without the approval of the local electricity asset owner. It should be noted that the NSW Service and Installation Rules require a sketch of the underground service/consumers mains to be marked inside the switchboard.

The risks are higher for those earthing systems of the SWER constructions as the earthing is utilised as the return path.

Be safe, because they need you



Typically any electrical item installed on a pole will have an earth wire running down the pole into the ground, which includes:

- > Transformers in urban and rural situations
- > Isolation, protection and regulation items.

Transformers located on the ground (padmount and kiosk), besides having underground electrical cables, will have an earthing system installed around them.

Damaged earthing

If an earth cable has been damaged, maintain a clearance of eight (8) meters and contact Essential Energy on 13 23 91. DONT ATTEMPT to re-join the cable - this will place you at serious risk.

Operating near underground cables and earths

- Underground cables should never be moved or relocated unless under the express authority of the organisation or person responsible for the powerlines
- The excavator shall report all damage made to Essential Energy assets immediately. Damage includes: gouges, dents, holes and gas escapes
- Never undermine poles, cables, earthing cable, padmount and kiosk substations.





Above: Poles with become unstable if undermined

Make sure it can't go wrong

You should ensure that people at work, their equipment (tools and plant) or materials do not come within close proximity to underground powerlines unless:

- A written risk assessment has been completed and a safe system of work implemented
- The relevant safety precautions and worker training requirements, including WorkCover Codes of Practice and Essential Energy's requirements, have been implemented and complied with.

If working in close proximity to underground cables is unavoidable and the risk assessment has been completed, the following should be considered to control the risks and ensure work safety:

- Have the power switched off by Essential Energy
- Consider all conductors as live unless it is positively known they have been de-energised
- Where appropriate, provide ground markings to identify location and warn workers of the presence of underground power and other assets.

Emergency situations

In the event that contact with an underground powerline occurs or cables are exposed or damaged, remembering the following points could help save a life:

- > If the situation is at all life threatening, immediately contact the Emergency Services on 000 (triple zero)
- Call Essential Energy's 24-hour supply interruptions line – 13 20 80 to switch off the power if required or report damage or exposure cables / conduits
- If any other underground assets are damaged you should contact the affected asset owners immediately
- Treat underground cables as alive, even if they appear to be dead
- Keep everyone at least eight metres away from the incident site, the person or any machinery making contact with underground cable
- Don't panic or touch the person receiving the electric shock – this could place you at risk
- Untrained, unequipped persons should not attempt to rescue a person receiving an electric shock. All too often secondary deaths occur when others go to the aid of earlier victims
- Remain on/inside the machinery until the supply is disconnected
- > If possible, break contact between the machinery and underground cable.

For more information

Essential Energy's Public Safety team is available to facilitate Electrical Awareness sessions and discuss any questions relating to electrical safety. For more information on electrical safety please call

Essential Energy General Enquiries 13 23 91
 Essential Energy Supply Interruptions 13 20 80

> WorkCover NSW 13 10 50

> Dial Before You Dig www.1100.com.au 1100

> Follow us





or visit essentialenergy.com.au/safety

Safety first: Before you dig or drive items into the ground

- 1. Contact DBYD
- 2. DO NOT attempt to excavate with in 10m of any power pole or electrical item
- 3. Contact Essential Energy on 13 23 91 for assistance to locate cables and earthing
- 4. Locate asset: Pot-hole
- 5. Proceed only if you have satisfied yourself it is safe.

Be safe, because they need you





Network Protection

Assets Affected

In reply to your enquiry, there are gas mains at the location of your intended work as per the attached map. For an explanation of the map, please see the key below. The following excavation guidelines apply.

Excavation Guidelines:

It is essential the location of gas pipe/s are confirmed by carefully pot-holing by hand excavation prior to proceeding with mechanical excavation in the vicinity of gas pipes. If you cannot locate the gas main, contact the local depot.

In accordance with clause 34(5) of the Gas Supply (Safety and Network Management) Regulation 2013 (NSW), you should be informed that all excavation, (including pot-holing by hand to confirm the location of pipes) should be performed in accordance with "Work Near Underground Assets Guideline" published in 2007 by the Work Cover Authority.

A copy of this Guideline is available at: www.workcover.nsw.gov.au

KEY VALVE MAX ALLOWABLE OPERATING PRESSURE SYSTEM PRESSURE REGULATOR SIPHON 123 NETWORK NODES TRUNK MAIN 1235 ITEM DETAIL SKETCH AVAILABLE PRIMARY MAIN 3500 kPa VALVE NUMBER (OLD NUMBERING) SECONDARY MAIN 1050 kPa 6NB 6 INCH CAST IRON MAIN 150MM 150MM STEEL MAIN 300 kPa 110MM PE/NY 110MM POLYETHYLENE/NYLON MAIN 210 kPa 50MM NYLON INSERTED INTO (6) NB 50MM NY **6NB MAIN CAST IRON MAIN** 7 kPa DISTANCE IN METRES OF MAIN FROM 1.2MBL BUILDING LINE (TOLERANCE OF 0.4M) 400 400 kPa 1957 YEAR LAID MUNICIPALITY BOUNDARY 2 kPa NETWORK BOUNDARY HOUSE NUMBER PROPOSED MAINS PR11/23 STEEL MAIN PROJECT NUMBER PRESSURE MONITORING STATION A

DBYD Administration 1300 880 906

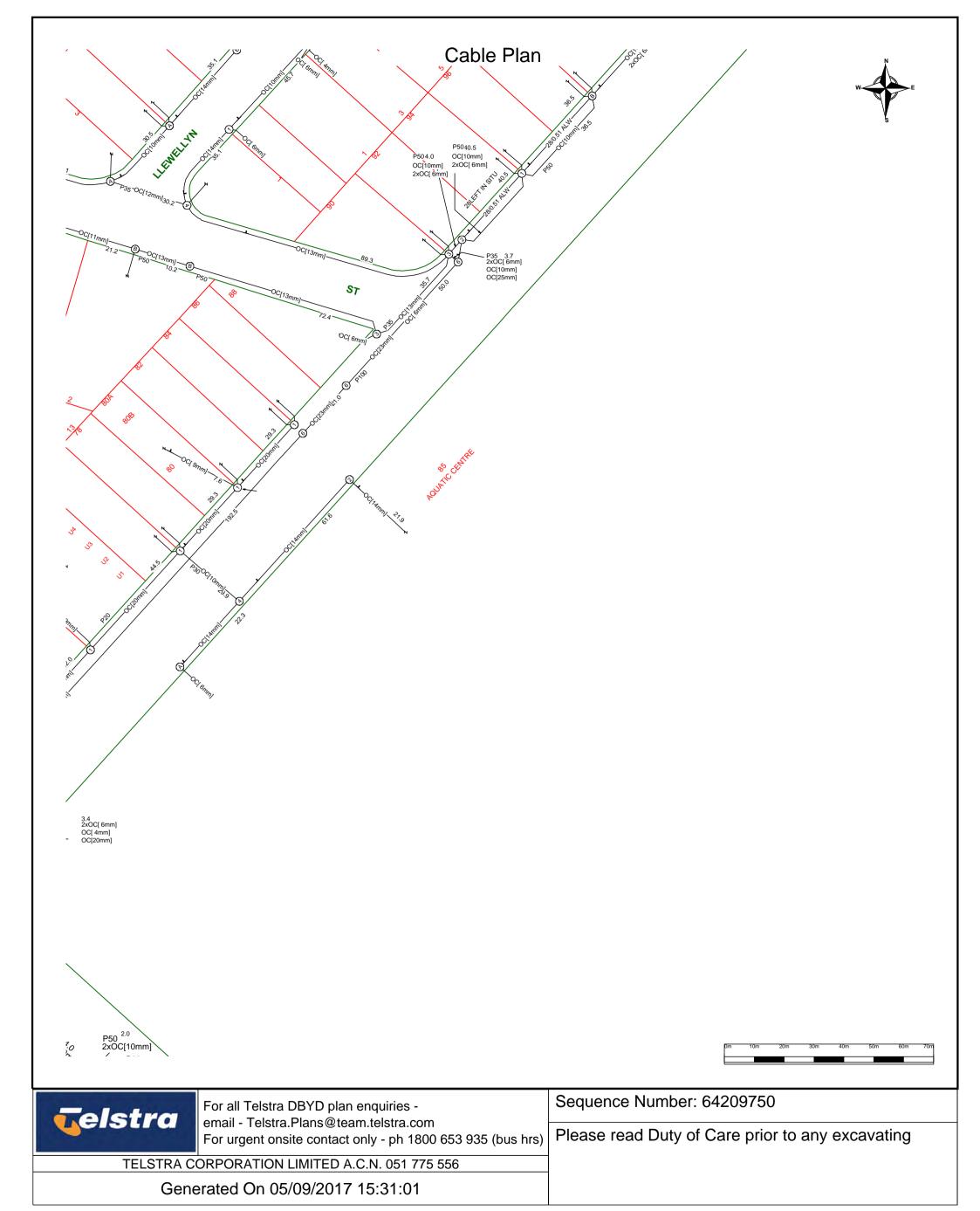
Warning: The enclosed plans show the position of Jemena Gas Networks (NSW) Ltd's underground gas mains and installations in public gazetted roads only. Individual customers' services and services belonging to other third parties are not included on these plans. These plans have been prepared solely for the use of Jemena Gas Networks (NSW) Ltd and Jemena Asset Management Pty Ltd (together "Jemena") and any reliance placed on these plans by you is entirely at your own risk. The plans may show the position of underground mains and installations relative to fences, buildings etc., as they existed at the time the mains etc were installed. The plans may not have been updated to take account of any subsequent change in the location or style of those features since the time at which the plans were initially prepared. Jemena makes no warranty as to the accuracy or completeness of the enclosed plans and does not assume any duty of care to you nor any responsibility for the accuracy, adequacy, suitability or completeness of the plans or for any error, omission, lack of detail, transmission failure or corruption in the information provided. Jemena does not accept any responsibility for any loss that you or anyone else may suffer in connection with the provision of these plans, however that loss may arise (including whether or not arising from the negligence of Jemena, its employees, agents, officers or contractors). The recipient of these plans must use their own care and diligence in carrying out their works and must carry out further surveys to locate services at their work site. Persons excavating or carrying out other earthworks will be held responsible for any damage caused to Jemena's underground mains and equipment. In accordance with the Work Near Underground Assets Guideline published in 2007 by Work Cover Authority, Jemena recommends that you carry out potholing by hand to accurately confirm the location of gas mains and installation prior to commencing excavations.

In case of Emergency Phone 131 909 (24 hours)

Admin 1300 880 906

Jemena Asset Management Pty Ltd ABN 53 086 013 461 for and on behalf of Jemena Gas Networks (NSW) Ltd ABN 87 003 004 322





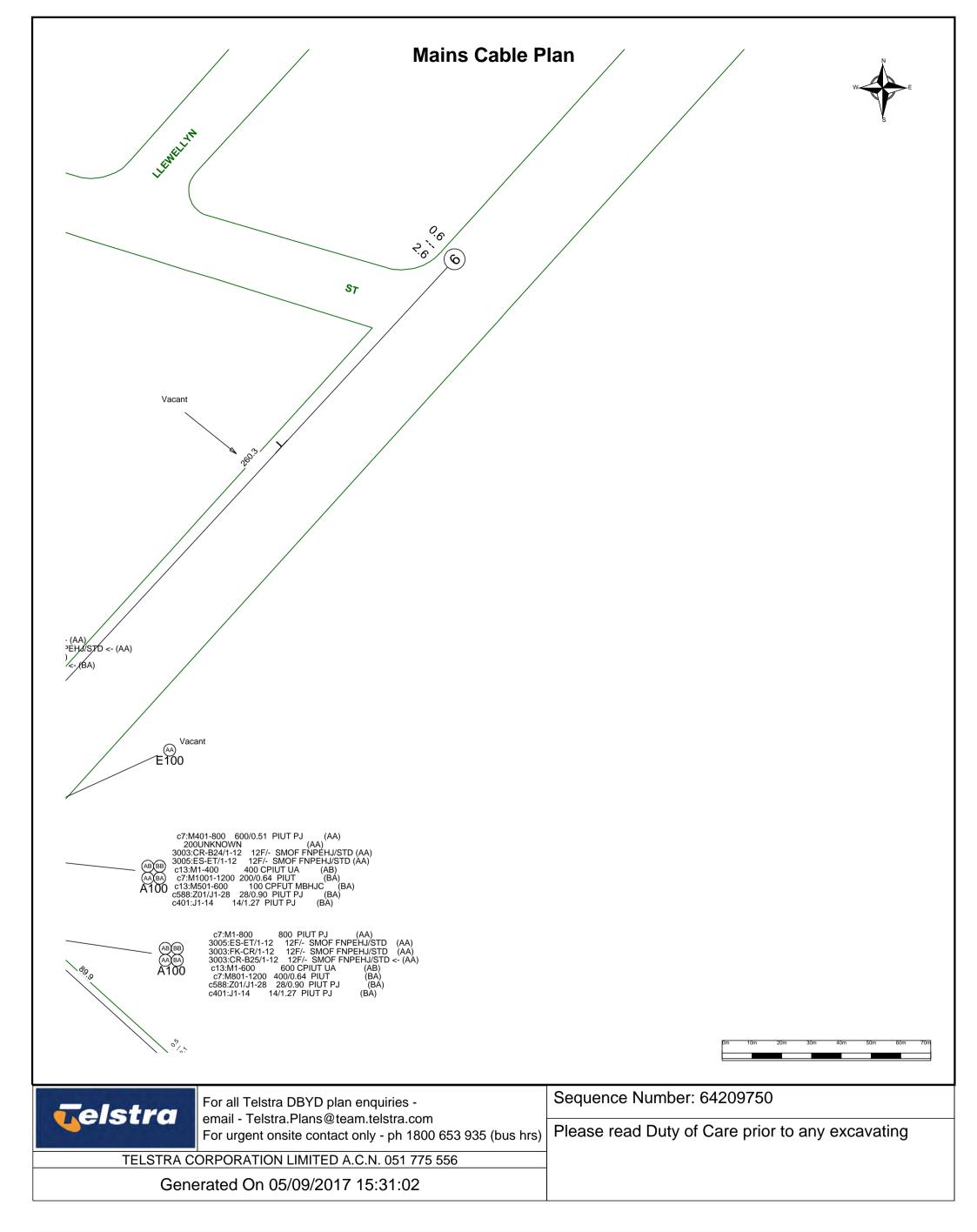
The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.



WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.

LEGEND

For more info contact a Telstra Accredited Locater or Telstra Plan Services 1800 653 935 Exchange Cable jointing pit (major cable present) (number indicating pit type) Footway access chamber Elevated cable joint (above ground joint on buried cable) (can vary from 1-lid to 12-lid) Telstra Plant in shared utility trench Pillar/cabinet (above the ground / free standing) Aerial Cable (above ground) Above ground complex equipment housing (eg RIM) **Aerial Cable** Please Note: This equipment is (attached to joint use pole e.g. power) powered by 240V electricity. Direct buried cable OC other carrier M) Marker post installed **Buried transponder** P20 2 pair lead-in to property from pit in street Marker, transponder 059 1 pair working (pair ID 059) 1DEAD 1 pair dead (i.e. spare, not connected) SMOF - Optical fibre cable direct buried Single to multiple round conduit Some examples of conduit type and size: Configurations 1, 2, 4, 9 respectively A - Asbestos cement, P - PVC / plastic, C - Concrete, P100 (Attached text denotes conduit type and size) GI - Galvanised iron, E - Earthenware. Conduit sizes nominally range from 20mm to 100mm. 50mm PVC conduit P50 Multiple square conduit 100mm PVC conduit P100 Or Hor H Configurations 2, 4, 6 respectively A100 100mm asbestos cement conduit E 85 85mm square earthenware conduit E85 (Attached text denotes conduit type and size) Some examples of how to read Telstra plans: - 50 -One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable 10 between two 6-pits, 20.0m apart, with a direct buried 30-pair cable 30 along the same route. 20.0 Two separate conduit runs between two footway AA - [cable into mation] @O AB - [cable nformation] access chambers (manholes) 245m apart. A BA - [cable information] C100 nest of four 100mm PVC conduits (P100) P100 containing assorted cables in three ducts (one being empty) and one empty 100mm concrete

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works. The exact position of Telstra assets can only be validated by physically exposing it. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

245.0

duct (C100) along the same route.

WE CONNECT



DUTY OF CARE

TELSTRA CORPORATON ACN 051 775 556

IMPORTANT:

When working in the vicinity of telecommunications plant you have a "Duty of Care" that must be observed. Please read and understand all the information and disclaimers provided below.

Telstra network is complex and requires expert knowledge to interpret information, to identify and locate components, to pothole underground assets for validation and to safely work around assets without causing damage. If you are not an expert and/or qualified in these areas then you should not be attempting these activities. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

The 4 essential steps that must be undertaken to prevent damage to Telstra assets are listed below. <u>Construction activities must not commence without first undertaking these 4 steps.</u> If your project is dependent on the position of the underground network then it is recommended you validate the position of the network prior to finalising your design.

(The following pages contain more detail on each step below and the contact details to seek further advice. AS5488-2013 is the Australian Standard for the Classification of Subsurface Utility Information.)

1 Dial Before You Dig -Telstra Plans :

The essential first step in preventing damage -

You must have current Telstra plans via the DBYD process. Telstra advises that the accuracy of the information provided by Telstra conforms to Quality Level D as defined in AS5488-2013. This means the information is indicative only, not a precise location. The actual location may differ substantially from that shown on the plans - refer to steps 2 & 3 to determine actual location prior to commencing construction.

2 Telstra Accredited Plant Locator:

The essential second step in preventing damage -

To be able to trace and identify individual subsurface cables and ducts requires access to Telstra pits and manholes. Only a Telstra Accredited Plant Locator (TAPL) is authorised to access Telstra network for locating purposes. A TAPL can interpret plans, validate visible assets and access pits and manholes to undertake electronic detection of underground assets prior to further validation. All Telstra assets must be located, validated and protected prior to commencing construction. If you are not authorised to do so by Telstra, you should not be accessing Telstra network or locating Telstra network.

3 Validation:

The essential third step in preventing damage -

All Telstra assets must be positively identified (i.e. validated), by physically sighting them. For underground assets this can be done by potholing by hand or using non-destructive vacuum extraction methods (Refer to 'validation' as defined in AS5488-2013 QL-A). **Underground assets located by electronic detection alone (step 2), are not deemed to be 'validated' and should not be used for construction purposes.** Some TAPL's can assist with non-destructive potholing for validation purposes. **If you cannot validate the Telstra network you should not proceed with construction**. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

4 Protection:

The essential fourth step in preventing damage -

Telstra assets must be protected to avoid damage from construction activities. Minimum working distances around Telstra network must be maintained. These distances are provided in this document. Telstra can also provide advice and assistance in regards to protection – refer to the following pages.

STEP 1 – Dial Before You Dig -Telstra Plans:

The actual location of Telstra assets may differ substantially from that shown on the plans. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for the accuracy shown on the plans. Steps 2 and 3 must also be undertaken to determine actual location of network.

- Telstra DBYD plans are not suitable for displaying Telstra network within a Telstra exchange site. For advice on Telstra network within a Telstra exchange site contact Telstra Plan Service on 1800 653 935.
- Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose.
- Telstra plans or other details are provided only for the use of the applicant, its servants, agents or Telstra Accredited Plant Locators. The applicant may not give the plans or details to any parties other than these, and may not generate profit from commercialising the plans or details.
- Please contact Telstra Plan Services immediately should you locate Telstra assets not indicated on these plans.
- Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.
- Please ensure Telstra plans and information provided remains on-site at all times throughout the inspection, location and construction phase of any works.
- Telstra plans are valid for 60 days after issue and should be replaced if required after the 60 days.
- **Emergency situations receiving Telstra plans** Telstra's automated mapping system (TAMS) will provide a fast response for emergency situations (faster than an operator can provide manually via a phone call see below for fast response requirements). Automated responses are normally available 24/7.

To receive a fast automated response from Telstra your request must -

- Be a web request lodged at DBYD (www.1100.com.au). The request will be then forwarded to Telstra.
- Contain your current email address so you can receive the automated email response.
- ➤ Be for the purposes of 'mechanical excavation' or other ground breaking DBYD activity. (Requests with activity types such as conveyancing, planning & design or other non-digging activities may not be responded to until the next business day).
- ➤ Be for an area less than 350 metres in size to obtain a PDF map (over 350 metres will default to DWF due to size) this does not include congested CBD areas where only DWF may be supplied.
- > Be for an area less than 2500 metres in size to obtain a DWF map (CBD's less)
- **Data Extraction Fees.** In some instances a data extraction fee may be applicable for the supply of Telstra information. Typically a data extraction fee may apply to large projects, planning and design requests or requests to be supplied in non-standard formats. For further details contact Telstra Plan Services.
- Electronic plans PDF and DWF maps If you have received Telstra maps via email you will have received the maps as either a PDF file (for smaller areas) or DWF file (for larger area requests). All requests over approximately *350m or in congested CBD areas can only be supplied in DWF format. There are size limits on what can be provided. (* actual size depends on geographic location of requested area). If you are unable to launch any one of the softcopy files for viewing and printing, you may need to download and install one or more of the free viewing and printing products such as Adobe Acrobat Reader (for PDF files) or Autodesk Design Review (for DWF files) available from the internet
 - Pdf files PDF is the default softcopy format for all requests for areas up to approx *350m in length. (*depends on geographic location of request). The PDF file is nominally formatted to A3 portrait sheet however it can be printed on any size sheet that your printer supports, e.g. either as the full sheet or selected areas to suit needs and legibility. (to print a selected area zoom up and print 'current view') If there are multiple layers of Telstra network you may receive up to 2 sheets in the single PDF file attachment supplied. There are three types or layers of network normally recorded local network, mains cables or a combined layer of local and mains (usually displayed for rural or semi-rural areas). If mains cable network is present in addition to local cables (i.e. as separate layer in a particular area), the mains will be shown on a separate sheet. The mains cable information should be read in conjunction with the local cable information.
 - DWF files DWF is the default softcopy format for all requests for areas that are over 350m in length. Maximum length for a DWF automated response is approx 2500m depending on geographic

location of request (manually-processed plans may provide larger coverage). The DWF files differ from PDF in that DWF are vector files made up of layers that can be turned on or off and are not formatted to a specific sheet size. This makes them ideal for larger areas and for transmitting electronically.

- How to view Telstra DWF files
 - Telstra DWF files come with all layers turned on. You may need to turn individual layers on or off for viewing and printing clarity. Individual layer names are CC (main cable/conduit), DA (distribution area network) and sometimes a combined layer CAC. Layer details can be viewed by either picking off the side menu or by selecting 'window' then 'layers' off the top menu bar. Use 'layers' to turn individual layers off or on (double click or right click on layer icon).
- How to print Telstra DWF files
 - DWF files can be printed on any size sheet either their entirety or by selected areas of interest. Some DWF coverage areas are large and are not suited to printing legibly on a single A4 sheet you may need several prints if you only have an A4 printer. Alternatively, an A3, A1 or larger printer could be used. To print, zoom in or out and then, by changing the 'print range' settings, you can print what is displayed on your screen to suit your paper size. If you only have a small printer, e.g. A4, you may need to zoom until the text is legible for printing (which is why you may need several prints). To print what is displayed on your screen the 'view' setting should be changed from 'full page' to 'current view'. The 'current sheet' setting should also be selected. You may need to print layers separately for clarity and legibility. (Details above on how to turn layers on or off)
- How to change the background colour from white to black (when viewing) Telstra DWF files –
 - If using Autodesk Design Review the background colour can be changed by selecting 'Tools' then 'options' then 'sheet'. Tick the box 'override published paper colours' and select the colour required using the tab provided.

STEP 2 - Telstra Accredited Plant Locator (TAPL):

Utilising a TAPL is an essential part of the process to identify network and to trace subsurface network prior to validating. A TAPL can provide plan interpretation, identification and electronic detection. This will assist in determining the position of subsurface assets prior to potholing (validating). Some TAPL's can also assist in validating underground detected network. Electronic detection is only an indication of the existence of underground network and can be subject to interference from other services and local conditions. Electronic detection should not be used solely to determine location for construction purposes. The electronic (indicative) subsurface measurements must be proven by physically sighting the asset (see step 3 - Validation).

- All TAPL's locating Telstra network must be able to produce a current photo ID card issued by Telstra. A list of TAPL's is provided with the Telstra Dial Before You Dig plans.
- Telstra does not permit external parties (non-Telstra) to access or conduct work on our network. Only Telstra staff, Telstra contractors or locators whom are correctly accredited are authorised to work on or access our manholes, pits, ducts, cables etc. This is for safety as well as for legal reasons.
- Optic fibre cable locations must be performed by a locator with Telstra optic fibre cable location accreditation.
 The locators with optic fibre cable location accreditation are indicated by a 'yes' in the column headed 'Fibre' in
 the lists of locators that are published with the Telstra DBYD plans. Telstra Accredited Plant Locators that are
 DBYD Certified Locators are also fibre accredited. Inspection of photo ID cards will confirm whether locators
 are just copper accredited or copper + fibre accredited.
- The details of any contract, agreement or retainer for site assistance to locate telecommunications plant shall be for you to decide and agree with the Telstra Accredited Plant Locator engaged. Telstra is not a party to any contract entered into between you and a Telstra Accredited Plant Locator.
- Payment for the site assistance will be your responsibility and payment details should be agreed before the engagement is confirmed.
- Telstra does not accept any liability or responsibility for the performance of or advice given by a Telstra Accredited Plant Locator. Accreditation is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.

• Neither the Telstra Accredited Plant Locator nor any of its employees are an employee or agent for Telstra. Telstra is not liable for any damage or loss caused by the Telstra Accredited Plant Locator or its employees.

• Electronically derived subsurface measurements (e.g. depths/alignments by locating devices)

All locator provided measurements for Telstra assets must have the AS5488-2013 quality level specified - (e.g. QL-A, B, C or D). These quality levels define the accuracy of subsurface information and are critical for determining how the information is later used – for example if suitable for excavation purposes.

1) An example of a subsurface measurement with no quality level specified – (i.e. not to be used)

Telstra cover - 0.9m

The measurement above has no AS5488-2013 quality level specified and **should not** be provided by a locator or used for design or construction. This is because it is not known whether the measurement is actual or derived (where 'actual' means validated and 'derived' means assumed and not validated, e.g. electronic or other). Typically damages occur by constructors incorrectly using unvalidated measurements as actual measurements.

2) An example of a subsurface measurement with quality level B specified -

Telstra cover - 0.9m (QL-B)

Where (QL-B) complies with AS5488-2013 QL-B (for example an electronic location that complies with QL-B)

(Note QL-B means it has <u>not</u> been validated and should not be used for construction purposes around Telstra network, however it would assist further investigation to determine the actual location)

3) An example of a subsurface measurement with the quality level A specified -

Telstra cover - 0.6m (QL-A)

Where (QL-A) complies with AS5488-2013 QL-A (and is deemed suitable for excavation purposes). In this example the asset has been electronically located first, (QL-B) and then physically exposed (QL-A).

Note -Telstra will seek compensation for damages caused to it its property and losses caused to Telstra and its customers if unvalidated subsurface measurements are used for construction and subsequently result in damage to Telstra assets. Only measurements conforming to AS5488-2013 (QL-A) are deemed by Telstra to be validated measurements.

• Rural landowners Where Telstra-owned cable crosses agricultural land, Telstra <u>may</u> provide on-site assistance with cable location. <u>You must contact Telstra Plan Services to determine eligibility and to request the service</u>.

Please note the following -

- If eligible, the <u>location assistance must be approved and organised by Telstra</u>. Telstra will not pay for a location that has not been approved and facilitated by Telstra (Telstra is not responsible for payment assistance when a customer engages a locator directly).
- > The exact location, including depth of cables, must be validated by potholing, which may not be covered by this service.
- This service is nominally only available to assist private rural land owners.
- This service nominally covers one hour on-site only, private lead-in locations are for lead-ins 100m or longer. Any time required in addition to Telstra-funded time can be purchased directly from the assigned Telstra Accredited Plant Locator.
- > This service does not apply to previously located network at the same location (i.e. it is a once off).
- This service does not apply to other carriers' cables (marked as 'OC' on Telstra plans).

STEP 3 - *Validation:

After utilising a Telstra Accredited Plant Locator and prior to commencing construction, any electronically detected underground network must be positively identified (validated) by physically sighting it. This can be done by careful hand digging or using non-destructive water jet methods to expose the network.

*Validation as defined in AS5488-2013 (QL-A).

Manual potholing needs to be undertaken with extreme care and by employing techniques least likely to damage cables. For example, align shovel blades and trowels parallel to the cable rather than digging across the cable. Some Telstra Accredited Plant Locators are able to provide or assist with non-destructive potholing methods to enable validation of underground cables and ducts.

If you cannot validate the underground network then you should not proceed with construction. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Important note: The construction of Telstra's network dates back over many years. Some of Telstra's pits and ducts were manufactured from asbestos-containing cement. You must take care in conducting any works in the vicinity of Telstra's pits and ducts. You must refrain from in any way disturbing or damaging Telstra's network infrastructure when conducting your works. We recommend that before you conduct any works in the vicinity of Telstra infrastructure that you ensure your processes and procedures eliminate any possibility of disturbing, damaging or interfering in any way with Telstra's infrastructure. Your processes and procedures should incorporate appropriate measures having regard to the nature of this risk. For further information -

http://ucm.in.telstra.com.au/about/media/emergencies-incidents/asbestos/index.htm?ssSourceSiteId=consumer-advice

STEP 4 - Protection:

You must maintain the following minimum clearance distances between construction activity and the validated position of Telstra plant.

| Jackhammers/Pneumatic Breakers | Not within 1.0m of actual validated location. |
|------------------------------------|---|
| Vibrating Plate or Wacker | Not within 0.5m of actual validated location of Telstra |
| Packer Compactor | ducts. 300mm compact clearance cover before compactor can |
| | be used across Telstra ducts. |
| Boring Equipment | Not within 2.0m of actual validated location. |
| (in-line, horizontal and vertical) | Constructor to hand dig or use non-destructive water jet |
| | method (pothole) and expose plant. |
| Heavy Vehicle Traffic (over 3 | Not to be driven across Telstra ducts (or plant) |
| tonnes) | with less than 600mm cover. |
| | Constructor to check actual depth via hand digging. |
| Mechanical Excavators, Farm | Not within 1.0m of actual validated location. |
| ploughing and Tree Removal | Constructor to hand dig or use non-destructive water jet |
| | method (pot-hole) and expose plant. |

- For blasting or controlled fire burning please contact Telstra Plan Services.
- If conducting roadworks all existing Telstra pits and manholes should be a minimum of 1.2m in from the back of kerb after the completion of your work.
- After the completion of any ground work in footways or roadway whereby the existing levels are being
 changed the depth of cover of the existing Telstra asset at the completion of work must not be less than the
 existing level before work commenced or of that of the recommendations of the 'Road Opening Conference',
 whichever the least. Regardless of whether the surface is being raised or lowered, any work impacting the
 depth of cover of Telstra underground assets should not commence before consultation with Telstra Network

Integrity representatives, to discuss the possibility of 'protection' or relocation (including lowering of the asset)".

- For clearance distances relating to Telstra pillars, cabinets and RIMs/RCMs please contact Telstra Plan Services.
- If Telstra plant is situated wholly or partly where you plan to work (i.e. in conflict), then Telstra's Network Integrity Group must be contacted to discuss possible engineering solutions.

 Please phone **1800 810 443** or email NetworkIntegrity@team.telstra.com
- You are not permitted to relocate or alter or repair any Telstra assets or network under any circumstances.

It is a criminal offence under the *Criminal Code Act 1995* (Cth) to tamper or interfere with communication facilities owned by a carrier. Heavy penalties may apply for breach of this prohibition, and any damages suffered, or costs incurred by Telstra as a result of any such unauthorised works may be claimed against you.

Only Telstra and its contractors may access and conduct works on Telstra's network (including its plant and assets). This requirement is to ensure that Telstra can protect the integrity of its network, avoid disruption to services and ensure that the relocation meets Telstra's requirements.

• If Telstra relocation or protection works are part of the agreed solution, then payment to Telstra for the cost of this work shall be the responsibility of the principal developer, constructor or person for whom the work is performed. The principal developer or constructor will be required to provide Telstra with the details of their proposed work showing how Telstra's plant is to be accommodated and these details must be approved by the Regional Network Integrity Manager prior to the commencement of site works.

Please phone 1800 810 443 or email NetworkIntegrity@team.telstra.com
Further information -

https://www.telstra.com.au/consumer-advice/digging-construction/relocating-network-assets

Damage to Telstra's network must be reported immediately -

https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment

- You will be held responsible for all plant damage that occurs or any impacts to Telstra's network as a result of
 your construction activities. This includes interfering with plant, conducting unauthorised modification works
 and interfering with Telstra's assets in a way that prevents Telstra from accessing or using its assets in the
 future.
- Telstra reserves all rights to recover compensation for loss or damage to its cable network or other property including consequential losses.

FURTHER INFORMATION:

NATURAL DISASTERS

Natural Disasters include (amongst other things) earthquakes, cyclones, floods and tsunamis. In the case of such events, urgent requests for plans or information relating to the location of Telstra network can be made directly to Telstra Network Integrity Team Managers as follows:

NSW – John McInerney 0419 485 795 WA/QLD – Glenn Swift 0419 660 147

SA/NT/VIC/TAS - David Povazan 0417 300 947

TELSTRA PLAN SERVICES - for all <u>Telstra</u> Dial Before You Dig related enquiries

Email - Telstra.Plans@team.telstra.com

Phone - 1800 653 935 (general enquiries, business hours only)

Accredited plant locator enquiries - Mike 0477 377 036

Glen 0477 365 666

Telstra easements - Glen 0477 365 666

Information for new developments (developers, builders, home owners)
Telstra Smart Communities - https://www.telstra.com.au/smart-community

Asset relocations

Please phone 1800 810 443 or email NetworkIntegrity@team.telstra.com

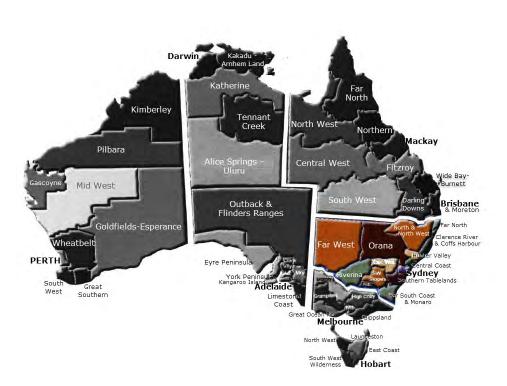
https://www.telstra.com.au/consumer-advice/digging-construction/relocating-network-assets

Telstra offers free Cable Awareness Presentations, if you believe you or your company would benefit from this offer please contact Network Integrity on 1800 810 443 or NetworkIntegrity@team.telstra.com

PRIVACY NOTE

Your information has been provided to Telstra by DBYD to enable Telstra to respond to your DBYD request. Telstra keeps your information in accordance with its privacy statement entitled "Protecting Your Privacy" which can be obtained from Telstra either by calling 1800 039 059 or visiting our website at www.telstra.com.au/privacy

^{*}Please note - to make a Telstra plan enquiry the plans must be current (within 60 days of issue). If your plans have expired you will need to submit a new request via DBYD prior to contacting Telstra Plan Services.



TELSTRA ACCREDITED PLANT LOCATORS – NEW SOUTH WALES. SOUTHERN REGION

Region NSW South

Telstra plans are intended to be indicative only. A plant location service (Telstra accredited) is required to identify the exact location of the plant and ensure that the asset is protected during construction work. It is your responsibility as part of your "Duty of Care" to engage an Accredited Plant Locator.

*Optic fibre cable
locations must be
performed by a locator
with Telstra optic fibre
location accreditation.

Locators with Telstra optic fibre cable location accreditation are indicated by either a 'yes' in the 'Fibre' column or the DBYD Certified Locator Symbol.



Please contact a Telstra accredited locator from the pages following (fees apply).

Telstra Accredited Plant Locators – New South Wales. SOUTH **NSW South.**

| Company Name & service areas | *Fibre | Contact | |
|---|---------------------|----------------------------------|--------|
| 1 300 B4UDIG | | 1300 248 344 | Phone |
| All areas | DIAL BEFORE YOU DIC | 1000 2 10 0 1 1 | Mobile |
| 7 iii di odo | CERTIFIED | | Fax |
| | LUCATUR | admin@1300b4udig.com.au | Email |
| | | www.133b4udig.com.au | Web |
| ACT Locating and Inspection Services Pty Ltd | | | Phone |
| ACT QBYN & NSW | DIAL BEFORE YOU DIC | 0438 603 852 | Mobile |
| NOT QUITT CHOW | (CERTIFIED | 0 100 000 002 | Fax |
| | LUCATUR | tpike@dtechservices.com.au | Email |
| | | tpino@atochoorvioco.com.aa | Web |
| Advanced Ground Locations Pty Ltd | | 02 4930 3195 | Phone |
| Newcastle, Hunter Valley, Central Coast | DIAL BEFORE YOU DIC | 0412 497 488 | Mobile |
| Tana, | CERTIFIED | 02 4930 3222 | Fax |
| | LUCATUR | steve agl@hotmail.com | Email |
| | | www.advancedgroundlocations.com | Web |
| All About Pipes | | 1300 634 200 | Phone |
| All of NSW | DIAL BEFORE YOU DIC | 0408 790 010 | Mobile |
| | LOCATOR | 02 9606 2325 | Fax |
| | LUCATUR | work@allaboutpipes.com.au | Email |
| | | www.allaboutpipes.com.au | Web |
| Australian Locating Services Pty Ltd | | 1300 761 545 | Phone |
| All of ACT & NSW | DIAL BEFORE YOU DIC | 0412 227 434 | Mobile |
| | LOCATOR | 02 9531 2169 | Fax |
| | LUCATUR | admin@locating.com.au | Email |
| | | www.locating.com.au | Web |
| Australian Subsurface Pty Ltd | | | Phone |
| All of ACT & NSW | DIAL BEFORE YOU DIC | 0427 879 600 | Mobile |
| | CERTIFIED | | Fax |
| | LUCATUR | admin@australiansubsurface.com | Email |
| | | www.australiansubsurface.com | Web |
| Australian Underground Utility Locations | | | Phone |
| Eurobodalla Shire, Bega Valley Shire, Snowy River Shire, | DIAL BEFORE YOU DIC | 0418 329 370 | Mobile |
| Batemans Bay to Vic border, Far South Coast NSW | LOCATOR | | Fax |
| , | LUCATUR | moceanfabrications@gmail.com | Email |
| | | www.auul.com.au | Web |
| Bega Bobcats | | 02 6492 0283 | Phone |
| Bega Valley Shire | CEPTICIED | 0427 260 423 | Mobile |
| • | LOCATOR | 02 6492 0283 | Fax |
| | COCATOR | zzbobcat@bigpond.net.au | Email |
| | | | Web |
| Brandon Construction Services Pty Ltd | | | Phone |
| Sydney metro and surrounding districts, other country | CEPTICIED | 0438 044 008 | Mobile |
| NSW areas on request | LOCATOR | | Fax |
| | COCATOR | <u>liam.bolger@hotmail.com</u> | Email |
| | | | Web |
| Capogreco Excavations Pty Ltd. | | 03 5022 2070 | Phone |
| Mildura, Wentworth, Gol Gol, Dareton, Ouyen, Robinvale, | CERTIFIED | 0428 356 269 | Mobile |
| Merein | LOCATOR | 03 5022 7003 | Fax |
| | | info@capoex.com.au | Email |
| | | www.capoex.com.au | Web |
| Coastal Cable Locators Pty Ltd | | 02 4457 1258 | Phone |
| Bawley Point, Wollongong to Eden, Braidwood, | CERTIFIED | 0427 975 777 | Mobile |
| Bungendore, Goulburn | LOCATOR | 02 4457 1258 | Fax |
| | | skomalley@bigpond.com | Email |
| | | | Web |
| Cobram Electrical and Data | | 03 5871 2807 | Phone |
| North East Victoria and NSW | CERTIFIED | 0438 503 973 | Mobile |
| | LOCATOR | 03 5871 2907 | Fax |
| | - | info@cobramelectricalanddata.com | Email |
| | | www.cobramelectricalanddata.com | Web |
| Commence Communications Pty Ltd | | 02 6226 3869 | Phone |
| Canberra, Yass, Bungendore, Goulburn and surrounding | CERTIFIED | 0428 595 620 | Mobile |
| regional areas. | LOCATOR | | Fax |
| | | admin@commencecomms.com.au | Email |
| | | www.commencecomms.com.au | Web |

Telstra Accredited Plant Locators – New South Wales. SOUTH

| Teistra Acciedited Flairt Locat | LOID INCOV | | |
|---|-------------------|------------------------------------|---------------|
| Construction Sciences Pty Ltd | | 02 4577 4605 | Phone |
| All areas | CERTIFIED | 0400 546 515 | Mobile |
| | LOCATOR | | Fax |
| | | utilities@constructionsciences.net | Email |
| | | www.constructionsciences.net | Web |
| CRUX Surveying Australia Pty Ltd. | | 02 9540 9940 | Phone |
| Sydney Metro and surrounding areas | CERTIFIED | 0404 850 381 | Mobile |
| | LOCATOR | | Fax |
| | COCATON | scottallison@cruxsurveying.com.au | Email |
| | | www.cruxsurveying.com.au | Web |
| D-Tech Services | | 02 6278 7548 | Phone |
| Higgins, ACT and surrounding areas | CERTIFIED | 0438 630 852 - Terry | Mobile |
| | LOCATOR | 0414 630 852 - Bruce | Mobile |
| | COCATON | dtech@webone.com.au | Email |
| | | | Web |
| DATATEKS Pty Ltd | | 02 6971 7777 | Phone |
| All regional areas | CERTIFIED | 0408 693 660 | Mobile |
| | LOCATOR | | Fax |
| | S | gilbertcook@datateks.com.au | Email |
| | | www.datateks.com.au | Web |
| DEETECT Pty Ltd | | 02 6278 7548 | Phone |
| ACT & NSW | CERTIFIED | 0414 630 852 | Mobile |
| | LOCATOR | | Fax |
| | COCATOR | dtech@webone.com.au | Email |
| | | | Web |
| Down Under Detection Services | | 02 9371 7744 | Phone |
| | CEPTICIED | | Mobile |
| | LOCATOR | | Fax |
| | COCATOR | downunderdetections@bigpond.co | Email |
| | | m | |
| Down Under Pipeline Surveys Pty Ltd | | 02 4653 1286 | Phone |
| Orangeville and surrounding districts | CERTIFIED | 0418 675 374 | Mobile |
| | LOCATOR | 02 4653 1747 | Fax |
| | COCATOR | office@dups.com.au | Email |
| | | www.dups.com.au | Web |
| Echuca & Distruct Cable Locations | | | Phone |
| northern Victoria, southern NSW | CEPTICIED | 0419 001 843 | Mobile |
| · | LOCATOR | 03 5482 5005 | Fax |
| | COCATOR | denniscompton@bigpond.com | Email |
| | | | Web |
| Eiicon Pty Ltd | | | Phone |
| Wodonga, Albury, Wagga Wagga, Wangaratta, Towong | CERTIFIED | 0419 568 331 | Mobile |
| Shire, Alpine Shire, Indigo Shire | LOCATOR | 02 6027 5231 | Fax |
| | | info@eiicon.com | Email |
| | | www.eiicon.com | Web |
| Environmental Location Systems Pty Ltd | | 03 8795 7461 | Phone |
| Melbourne & all of Victoria | CEPTIFIED | 0459 177 700 | Mobile |
| Tasmania (whole) | LOCATOR | | Fax |
| Southern NSW | | stuart@radiodetection.com.au | Email |
| -all areas/districts regions | | www.radiodetection.com.au | Web |
| Epoca Environmental Pty Ltd | | 02 4739 2465 | Phone |
| All of NSW & ACT | CERTIFIED | 0430 606 948 | Mobile |
| | LOCATOR | | Fax |
| | | evelyn@epocaenvironmental.com.au | Email |
| | | www.epocaenvironmental.com.au | Web |
| G MAC LOCATING | | 0488 520 482 | Phone |
| Dubbo, Young, Wagga, Yass, Goulburn, Bathurst, | CERTIFIED | 0408 822 428 | Mobile |
| Orange, Temora, West Wyalong & most NSW country | LOCATOR | | Fax |
| regions | | enquiries@gmaclocating.com.au | Email |
| | | | Web |
| Geoscope Utility Detection Services Pty Ltd | | 1300 750 350 | Phone |
| Sydney areas and parts of NSW | CERTIFIED | 0432 296 323 | Mobile |
| | LOCATOR | | Fax |
| | COCATOR | info@geoscopelocating.com.au | Email |
| | | www.geoscopelocating.com.au | Web |
| | | 02 8824 6654 | Phone |
| Geotrace Pty Ltd | | 0_ 00 000 . | |
| All Areas, Hills District, Sydney, Wollongong, Newcastle, | CEPTICIES | 0417 147 945 | Mobile |
| | CERTIFIED | | Mobile Fax |
| All Areas, Hills District, Sydney, Wollongong, Newcastle, | CERTIFIED LOCATOR | 0417 147 945 | |

Telstra Accredited Plant Locators – New South Wales. SOUTH

| | | Journ Wales, Jour | |
|---|------------------------|---------------------------------|--------------|
| Hunter Smith Management Pty Ltd | | 02 8090 2695 | Phone |
| All of NSW & ACT, other regions e.g. Victoria as | CERTIFIED | 0422 224 761 | Mobile |
| requested | LOCATOR | | Fax |
| | | huntersmith@iprimus.com.au | Email |
| | | www.hsmlocating.com.au | Web |
| Hydro Digga | | | Phone |
| All of NSW, ACT & South East Qld. | CEPTIFIED | 0447 774 000 | Mobile |
| | LOCATOR | | Fax |
| | Cocaron | locator@hydrodigga.com | Email |
| | | | Web |
| Landmark Surveys Pty Ltd | | 02 6280 9608 | Phone |
| Southern NSW and ACT areas | CEPTIFIED | 0413 832 038 | Mobile |
| | LOCATOR | | Fax |
| | | phil@landmarksurveys.com.au | Email |
| | | www.landmarksurveys.com.au | Web |
| Laneyrie Electrical Pty Ltd | _ | 02 4237 9865 | Phone |
| Helensburgh to Ulladulla, Southern Highlands | CERTIFIED | 0412 079 079 | Mobile |
| | LOCATOR | 02 4237 9939 | Fax |
| | | bindy@laneyrieelectrical.com.au | Email |
| | | www.laneyrieelectrical.com.au | Web |
| LivePower Construction and Plant | _ | | Phone |
| All areas | CERTIFIED | 0448 220 338 | Mobile |
| | LOCATOR | | Fax |
| | | bookings@livepower.com.au | Email |
| | | www.livepower.com.au | Web |
| Locating Services Pty Ltd | | | Phone |
| Hawkesbury, Canberra and all of NSW | CERTIFIED | 0403 065 510 | Mobile |
| | LOCATOR | | Fax |
| | | sam.romano1@outlook.com | Email |
| | | | Web |
| Lyntet Communications (Lynco Pty Ltd) | | | Phone |
| Dubbo depot, covering Forbes, Grenfell, Parkes, Bourke, | CERTIFIED | 0409 811 673 | Mobile |
| Bourke North, Nyngan, Coonabarabran, Coonamble, | LOCATOR | | Fax |
| Mudgee, Narromine, Wellington, Orange, Molong, | | <u>lyntet@bigpond.com.au</u> | Email |
| Yeoval, Coolah, Dunedoo, Gilgandra, Mendooran | | | Web |
| Mr Mac Group | | | Phone |
| Bathurst, Orange, Yass and Goulburn. | CERTIFIED | 0447 818 260 | Mobile |
| | LOCATOR | | Fax |
| | | locatemrmac@gmail.com | Email |
| | | | Web |
| Mullane Maintenance Pty Ltd. | ON MANAGEMENT AND DISC | 1300 608 999 | Phone |
| Newcastle and Hunter Region, Central Coast, Mid-North | CERTIFIED | | Mobile |
| Coast | LOCATOR | 02 4960 8933 | Fax |
| | | maintenance@mullane.com.au | Email |
| | | www.mullane.com.au | Web |
| On Point Utility Locating Pty Ltd | ON MICH YOU DIS | 1300 ON POINT | Phone |
| Sydney, Parramatta, Penrith, Wollongong, Central Coast, | CERTIFIED | 0405 149 529 | Mobile |
| Highlands, Goulburn, Blue Mountains | LOCATOR | | Fax |
| | | info@onpointlocating.com.au | Email |
| Online Dine 9 Cable Landton Division | | www.onpointlocating.com.au | Web |
| Online Pipe & Cable Locating Pty Ltd | DIAL BEFORE YOU DIS | 1300 665 384 | Phone |
| Sydney, Newcastle, Canberra, Central Coast, | CERTIFIED | 0418 402 234 | Mobile |
| Wollongong, Blue Mountains and Port Macquarie | LOCATOR | 02 9676 6127 | Fax |
| | | office@onlinepipe.com.au | Email |
| Dubinof Div Ltd | | 00 1000 5710 | Web |
| Rubicof Pty Ltd | DIAL BEFORE YOU DIC | 02 4990 5718 | Phone |
| Gosford, Newcastle, Taree | CERTIFIED | 0418 683 451 | Mobile |
| | LOCATOR | 02 4991 2600 | Fax |
| | | rubicof@optusnet.com.au | Email Web |
| Rutherford Electrical Engineering Services | | 02 4932 7344 | Phone |
| Numeriora Liectrical Engineering Services | DIAL BEFORE YOU DIG | 02 4932 7344 | Mobile |
| | (CERTIFIED | 02 4932 5219 | Fax |
| | LOCATOR | kmurphy@ruthelect.com.au | Fax Email |
| | | kindipny@rdinelect.com.au | Email Web |
| Signal Support Services Pty Ltd | | 02 4821 8334 | Phone |
| Goulburn, Southern Highlands, Canberra. | DIAL BEFORE YOU DIC | 02 462 1 6334 0418 237 668 | Mobile |
| Oddibarri, Oddirerri i ligiliarius, Cariberra. | (CERTIFIED | 0410 237 000 | Fax |
| | LOCATOR | ted@signalsupport.com.au | Email |
| | | todi@signalsupport.com.au | Web |
| | | | vveb |

Telstra Accredited Plant Locators – New South Wales. SOUTH

| Steger & Associates Registered Land Surveyors | | 02 6296 4089 | Phone |
|---|----------------------|------------------------------|--------|
| NSW & ACT | CERTIFIED | | Mobile |
| | LOCATOR | 02 6296 4090 | Fax |
| | | enquiries@leachsteger.com.au | Email |
| | | | Web |
| SureSearch | | 1300 884 520 | Phone |
| NSW = Sydney, Penrith, Richmond, Wollongong, | CERTIFIED | 0408 221 046 | Mobile |
| Katoomba, Macarthur, Central Coast, Newcastle | LOCATOR | | Fax |
| Maitland, Hunter Valley, Port Macquarie | | info@suresearch.com.au | Email |
| | | www.suresearch.com.au | Web |
| Tim Barnes Communications | | | Phone |
| Riverina and surrounding areas, Wagga, Albury, West | CERTIFIED | 0428 534 476 | Mobile |
| Wyalong, Hay Temora | LOCATOR | 02 6953 4460 | Fax |
| | | tbarnes7@bigpond.net.au | Email |
| | | | Web |
| Utility I.D. – Underground Service & Cable Locators | | | Phone |
| All areas Queensland and New South Wales | CERTIFIED | 0401 202 515 | Mobile |
| | LOCATOR | | Fax |
| | | info@utilityid.com.au | Email |
| | | www.utilityid.com.au | Web |
| Vac Group Operations Pty Ltd t/as Earthspy | | 1300 822 834 | Phone |
| | CERTIFIED | 0447 466 331 | Mobile |
| | LOCATOR | | _ Fax |
| | | | Email |
| | | www.vacgroup.com.au | Web |
| Veris (Whelans Australia Pty Ltd) | OUR MANAGE VOW DUT | 1300 765 315 | Phone |
| All of NSW | CERTIFIED | 0400 829 369 | Mobile |
| | LOCATOR | | Fax |
| | | <u>s.tan@veris.com.au</u> | Email |
| V () | | www.veris.com.au | Web |
| Vertex Power & Process | DIAL MACORA VOIL DIC | 08 8088 4301 | Phone |
| NSW areas – Broken Hill, Menindee, Wilcannia, Ivanhoe | CERTIFIED | 0428 154 450 | Mobile |
| & surrounding areas. | LOCATOR | 08 8087 5729 | Fax |
| SA areas – Eastern regions of SA including Olary | | admin@vertexpp.com.au | Email |
| Mingary & Cockburn. | | www.vertexpp.com.au | Web |
| Wagga Directional Drilling | DIAL BEFORE YOU DIG | 02 6925 4660 | Phone |
| Riverina and surrounds | CERTIFIED | 0418 800 196 | Mobile |
| | LOCATOR | 02 6925 4941 | Fax |
| | | paulkeough@bigpond.com | Email |
| | | | Web |



To: Miss Danica Tagaza

Phone: 0261714626 Fax: Not Supplied

Email: danica@robsonenviro.com.au

| Dial before you dig Job #: | 12896279 | DIAL BEFORE |
|-------------------------------|---------------------------------|--|
| Sequence # | 64209752 | www.1100.com.au |
| Issue Date: | 05/09/2017 | |
| Location: | Deccan Street,Goulburn,NSW-2580 | Some impact. No onsite action required. |

Information

The area of interest requested by you contains one or more assets.

| nbn Assets | Search Results |
|----------------|------------------|
| Communications | Asset identified |
| Electricity | No assets |

In this notice **NBN Facilities** means underground fibre optic, telecommunications and/or power facilities, including but not limited to cables, owned and controlled by **nbn**

Location of Underground Power Facilities

We thank you for your enquiry. In relation to your enquiry at the above address:

- **nbn's** records indicate that there **ARE nbn** Facilities in the vicinity of the location identified above ("Location").
- nbn indicative plan/s are attached with this notice ("Indicative Plans").



- The Indicative Plan/s show general depth and alignment information only and are not an exact, scale or accurate depiction of the location, depth and alignment of **nbn** Facilities shown on the Plan/s.
- In particular, the fact that the Indicative Plans show that a facility is installed in a straight line, or at uniform depth along its length cannot be relied upon as evidence that the facility is, in fact, installed in a straight line or at uniform depth.
- You should read the Indicative Plans in conjunction with this notice and in particular, the notes below.
- You should note that, at the present time, the Indicative Plans are likely to be more
 accurate in showing location of fibre optics and telecommunications cables than power
 cables. There may be a variation between the line depicted on the Indicative Plans and
 the location of any power cables. As such, consistent with the notes below, particular
 care must be taken by you to make your own enquiries and investigations to precisely
 locate any power cables and manage the risk arising from such cables accordingly.
- The information contained in the Indicative Plan/s is valid for 28 days from the date of issue set out above. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators at your cost to locate **nbn** Facilities during any activities you carry out on site).

We thank you for your enquiry and appreciate your continued use of the Dial Before You Dig Service. If you are planning to excavate and require further information, please contact **nbn** on 1800 626 329. For any enquiries related to moving assets or Planning and Design activities, please email the **nbn** at relocationWorks@nbnco.com.au.

Notes:

- 1. You are now aware that there are **nbn** Facilities in the vicinity of the above property that could be damaged as a result activities carried out (or proposed to be carried out) by you in the vicinity of the Location.
- 2. You should have regard to section 474.6 and 474.7 of the *Criminal Code Act 1995* (CoA) which deals with the consequences of interfering or tampering with a telecommunications facility. Only persons authorised by **nbn** can interact with **nbn's** network facilities.
- 3. Any information provided is valid only for **28 days** from the date of issue set out above.

Referral Conditions

The following are conditions on which **nbn** provides you with the Indicative Plans. By accepting the plans, you are agreeing to these conditions. These conditions are in addition, and not in replacement of, any duties and obligations you have under applicable law.

1. **nbn** does not accept any responsibility for any inaccuracies of its plans including the Indicative Plans. You are expected to make your own inquiries and perform your own



- investigations (including engaging appropriately qualified plant locators at your expense to locate **nbn** Facilities during any activities you carry out on site).
- 2. You acknowledge that **nbn** has specifically notified you above that the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables.
- 3. You should not assume that **nbn** Facilities follow straight lines or are installed at uniformed depths along their lengths, even if they are indicated on plans provided to you. Careful onsite investigations are essential to locate the exact position of cables.
- 4. In carrying out any works in the vicinity of **nbn** Facilities, you must maintain the following minimum clearances:
 - 300mm when laying assets inline, horizontally or vertically.
 - 500mm when operating vibrating equipment, for example: jackhammers or vibrating plates.
 - 1000mm when operating mechanical excavators.
 - Adherence to clearances as directed by other asset owner's instructions and take into account any uncertainty for power cables.
- 5. You are aware that there are inherent risks and dangers associated with carrying out work in the vicinity of underground facilities (such as **nbn** fibre optic,copper and coaxial cables,and power cable feed to **nbn** assets). Damage to underground electric cables may result in:
 - Injury from electric shock or severe burns, with the possibility of death.
 - Interruption of the electricity supply to wide areas of the city.
 - Damage to your excavating plant.
 - Responsibility for the cost of repairs.
- 6. You must take all reasonable precautions to avoid damaging **nbn** Facilities. These precautions may include but not limited to the following:
 - All excavation sites should be examined for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed. Hand excavation needs to be undertaken with extreme care to minimise the likelihood of damage to the cable, for example: the blades of hand equipment should be aligned parallel to the line of the cable rather than digging across the cable.
 - If any undisclosed underground cables are located, notify **nbn** immediately.
 - All personnel must be properly briefed, particularly those associated with the use of earth-moving equipment, trenching, boring and pneumatic equipment.
 - The safety of the public and other workers must be ensured.
 - All excavations must be undertaken in accordance with all relevant legislation and regulations.
- 7. You will be responsible for all damage to **nbn** Facilities that are connected whether directly, or indirectly with work you carry out (or work that is carried out for you or on your behalf) at the Location. This will include, without limitation, all losses expenses incurred by **nbn** as a result of any such damage.
- 8. You must immediately report any damage to **nbn**™ network that you are/become aware of. Notification may be by telephone 1800 626 329.



9. Except to the extent that liability may not be capable of lawful exclusion, **nbn** and its servants and agents and the related bodies corporate of **nbn** and their servants and agents shall be under no liability whatsoever to any person for any loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any plans(including Indicative Plans) attached hereto. Except as expressly provided to the contrary in this information sheet or the attached plans(including Indicative Plans), all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.

All works undertaken shall be in accordance with all relevant legislations, acts and regulations applicable to the particular state or territory of the Location. The following table lists all relevant documents that shall be considered and adhered to.

| State/Territory | Documents | |
|-----------------|--|--|
| National | Work Health and Safety Act 2011 | |
| | Work Health and Safety Regulations 2011 | |
| | Safe Work Australia - Working in the Vicinity of Overhead and Underground Electric Lines (Draft) | |
| | Occupational Health and Safety Act 1991 | |
| NSW | Electricity Supply Act 1995 | |
| | Work Cover NSW - Work Near Underground Assets Guide | |
| | Work Cover NSW - Excavation Work: Code of Practice | |
| VIC | Electricity Safety Act 1998 | |
| | Electricity Safety (Network Asset) Regulations 1999 | |
| QLD | Electrical Safety Act 2002 | |
| | Code of Practice for Working Near Exposed Live Parts | |
| SA | Electricity Act 1996 | |
| TAS | Tasmanian Electricity Supply Industry Act 1995 | |
| WA | Electricity Act 1945 | |
| | Electricity Regulations 1947 | |
| NT | Electricity Reform Act 2005 | |
| | Electricity Reform (Safety and Technical) Regulations 2005 | |
| ACT | Electricity Act 1971 | |

Thank You,

Network Operations Centre - Assurance

Date: 05/09/2017



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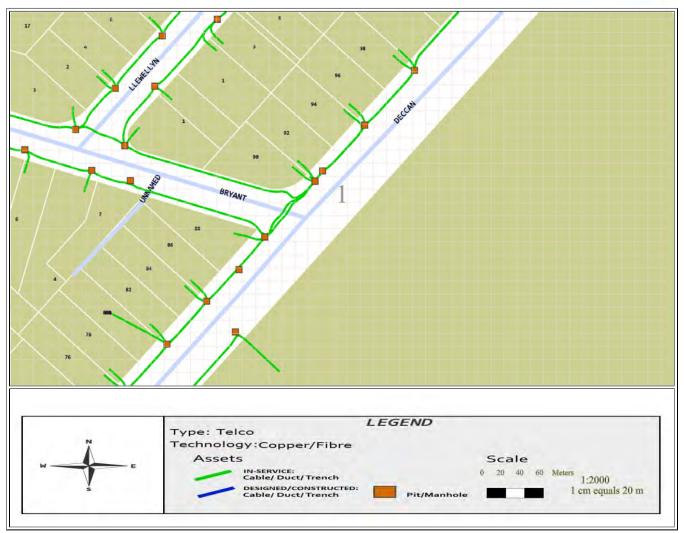


Indicative Plans

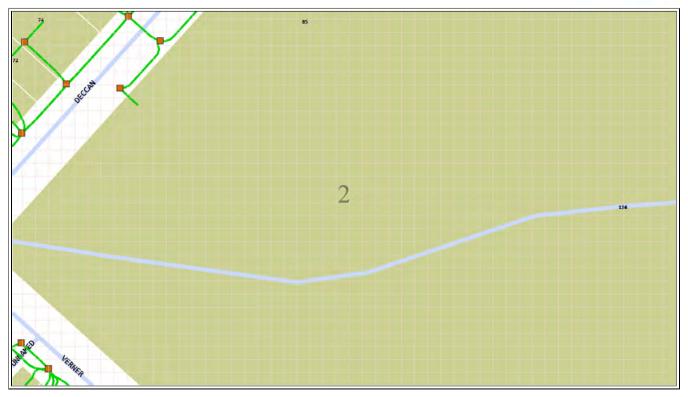
| Issue Date: | 05/09/2017 | DIAL BEFORE |
|-------------|---------------------------------|----------------------------|
| Location: | Deccan Street,Goulburn,NSW-2580 | YOU DIG www.1100.com.au |











Emergency Contacts

You must immediately report any damage to **nbn**™ network that you are/become aware of. Notification may be by telephone - 1800 626 329.



Appendix G

Site Photographs





Photograph 1: AEC 1 - Area of potential fill material west of the outdoor pool. View to the northeast.



Photograph 2: AEC 1 - Area of potential fill material south of the outdoor pool. View to the west.





Photograph 3: AEC 1 - Area of potential fill material south of the outdoor pool. General waste/recycling bins in background were observed across the whole site. View to the southwest.



Photograph 4: General view of the outdoor pool plant room/clubhouse that contains a chemical storage area (AEC 2). View to the northwest.





Photograph 5: General view of the outdoor pool plant room/clubhouse that contains a chemical storage area (AEC 2). View to the east.



Photograph 6: AEC 2 – Large quantity of chemicals stored in the outdoor pool plant room.





Photograph 7: AEC 2 – Large quantity of chemicals stored in the outdoor pool plant room.



Photograph 8: General view of the indoor pool plant room that contains a chemical storage area (AEC 2). View to the east.





Photograph 9: AEC 2 – Small quantity of chemicals stored in the indoor pool plant room.



Photograph 10: Small quantities of household/toilet cleaning chemical storage in women's change room.